

**GENERAL NOTES & SPECIFICATIONS**

- ALL WORK SHALL COMPLY WITH ALL BUILDING CODES HAVING JURISDICTION.
- EACH CONTRACTOR SHALL VERIFY THE SITE AND VERIFY ALL EXISTING CONDITIONS. SAID CONTRACTORS SHALL REPORT TO THE GENERAL CONTRACTOR IN WRITING ANY DISCREPANCIES BETWEEN THE DRAWINGS AND/OR THE SITE CONDITIONS BEFORE PROCEEDING WITH BIDDING AND PERFORMANCE OF THE WORK. WRITE UP DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS.
- ALL SYMBOLS AND ABBREVIATIONS WITHIN THESE CONSTRUCTION DOCUMENTS ARE TO BE CONSIDERED CONSTRUCTION STANDARDS. ANY QUESTIONS TO THEIR MEANING SHALL BE ADDRESSED TO THE DESIGNER IN WRITING FOR CLARIFICATION.
- ALL NEW GYPSUM WALLBOARD SHALL BE 1/2" THICKNESS UNLESS OTHERWISE NOTED ON THESE PLANS. ALL OUTSIDE CORNERS SHALL HAVE METAL CORNER BEADS. TYPE MORTAR RESISTANT (MR) GYPSUM WALLBOARD SHALL BE USED AT ALL PLUMBING WALLS.

- ANY INTERIOR DESIGN, MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THESE BUILDING PLANS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO VERIFY THESE PLANS BEFORE INSTALLING ELECTRICAL AND MECHANICAL WORK. SHOULD THERE BE ANY DISCREPANCIES BETWEEN THESE PLANS AND OTHER DRAWINGS WHICH WOULD CAUSE AN ANSWERED INSTALLATION, IT SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION PRIOR TO INSTALLATION.
- ALL NEW PLUMBING WORK SHALL BE DESIGNED BY THE PLUMBING CONTRACTOR. HE SHALL BE RESPONSIBLE FOR PREPARING ALL DRAWINGS, SCHEDULING AND CALCULATIONS WHICH ARE REQUIRED FOR OBTAINING BUILDING PERMITS AND PAYMENT OF THE REQUIRED FEES.
- ALL NEW ELECTRICAL WORK SHALL BE DESIGNED BY THE ELECTRICAL CONTRACTOR. HE SHALL BE RESPONSIBLE FOR PREPARING ALL THE DRAWINGS, SCHEDULING AND CALCULATIONS WHICH ARE REQUIRED FOR OBTAINING BUILDING PERMITS AND PAYMENT OF THE REQUIRED FEES.

- ALL NEW HEAT/COOL CONDITIONING WORK SHALL BE DESIGNED BY THE HEATING/COOLING CONTRACTOR. HE SHALL BE RESPONSIBLE FOR PREPARING ALL DRAWINGS, SCHEDULING AND CALCULATIONS WHICH ARE REQUIRED FOR OBTAINING PERMITS AND PAYMENT OF THE REQUIRED FEES.
- SITE PREPARATION (EXCAVATION AND GRADING) SHALL BE DONE IN CONFORMANCE WITH THE LOCAL BUILDING CODES.
- THESE PLANS ARE COPYRIGHTED BY THE PROJECT DESIGNER AND ARE INTENDED FOR THE ONE-TIME USE FOR THE PROPERTY SPECIALLY PROVIDED. USE OF THESE PLANS FOR ANY OTHER PURPOSE IS STRICTLY PROHIBITED.
- THE BUILDER SHALL PROVIDE A STREET ADDRESS ON THE JOB SITE PRIOR TO AND DURING CONSTRUCTION.
- THE DESIGNER PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR DEVIATIONS FROM THESE PLANS. ALL PROPOSED CHANGES TO THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PROJECT ENGINEER.

- IN THE EVENT OF CONFLICT BETWEEN THESE PLANS AND THE PLANS APPROVED BY THE GOVERNING AGENCY, THE APPROVED PLANS TAKE PRECEDENCE.
- THE PROJECT CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE BEGINNING OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE PROJECT ENGINEER. ANY DISCREPANCIES DISCOVERED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPORTED TO THE PROJECT ENGINEER.
- PLEASE NOTE: WE RECOMMEND WAITING FOR DELIVERY OF LOG PACKAGE BEFORE ORDERING WINDOWS AND DOORS FROM MANUFACTURERS. GENERAL CONTRACTOR TO DOUBLE CHECK WINDOW SIZES AND ALL DIMENSIONS LISTED IN THE SCHEDULES TO MANUFACTURERS (LETTED & L) DIMENSIONS AND WINDOW DIMENSIONS IN LOG WORK TO ENSURE A PERFECT FIT.

**PROJECT DATA**

**OWNER/APPLICANT:**  
PRINCETON RV AMENITIES

**PROJECT LOCATION:**  
123 Street  
City  
State  
ZIP

**LEGAL DESCRIPTION:**

**STRUCTURAL DESIGN:**  
BCBC 2018 PART 4  
Ss=2.9kPa  
Sr=0.6kPa  
Q50=0.36kPa  
Sa(0.2)=0.259

**AREA TABULATION**

Square Footage	
FLOOR	Area
1st FLOOR	1580
<b>TOTAL</b>	<b>1500 SF</b>

**BUILDING CODE LEGEND**

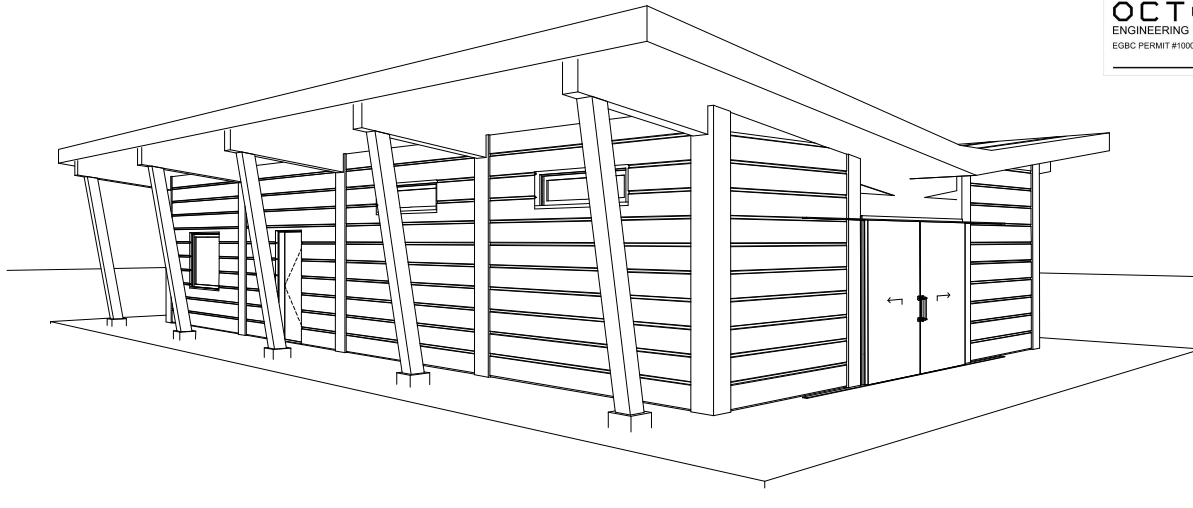
THESE PLANS SHALL COMPLY WITH THE FOLLOWING:

- 2018 BUILDING CODE
- 2018 BC MECHANICAL CODE
- 2018 BC PLUMBING CODE
- 2018 BC ELECTRICAL CODE

**REGIONAL CRITERIA**

CODE: 2018 BUILDING CODE  
SCHEDULE: S100 PFP  
SEISMIC ZONE:  
DESIGN WIND SPEED:

**OCTO ENGINEERING INC.**  
EGBC PERMIT #1000113



**WINDOW SCHEDULE**

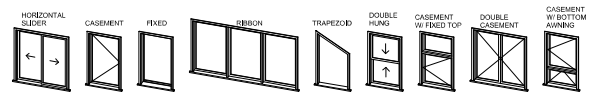
ID	Home Story	Library Part Name	Quantity	Carpenter's R.O.
W1	1st FLOOR	W Fixed 25	5	32"x14"
W2	1st FLOOR	W Fixed 25	1	32"x14"
W3	1st FLOOR	W Fixed 25	2	4'-0" x 4'-0"

**DOOR SCHEDULE**

ID	Home Story	Library Part Name	Orientation	Quantity	W x H Size	Carpenter's R.O.
D1	1st FLOOR	D2 Sliding Ext 25	SLD	2	6'-0" x 7'-0"	6'-0" x 7'-0"
D2	1st FLOOR	D1 25	FW	4	3'-0" x 6'-0"	3'-0" x 6'-0"
D3	1st FLOOR	D1 25	LH	3	3'-0" x 6'-0"	3'-0" x 6'-0"

**SHEET INDEX**

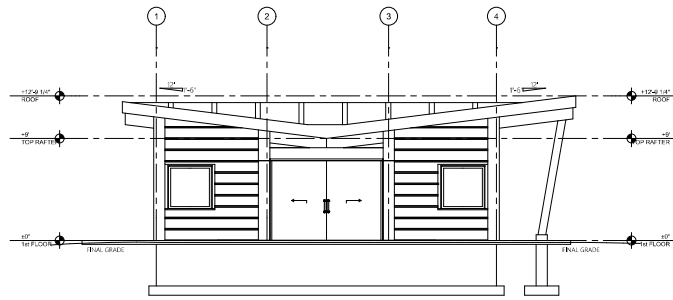
ID	NAME
A-1	COVER SHEET
A-2	ELEVATIONS
A-3	ELEVATIONS
A-4	FOUNDATION PLAN
A-5	FIRST FLOOR PLAN
A-6	ROOF PLAN
A-7	DETAILED
A-8	ELECTRICAL PLANS
A-9	Mechanics
A-10	WALL SECTIONS
A-11	CONNECTIONS
A-12	GENERAL NOTES
A-13	SITE PLAN



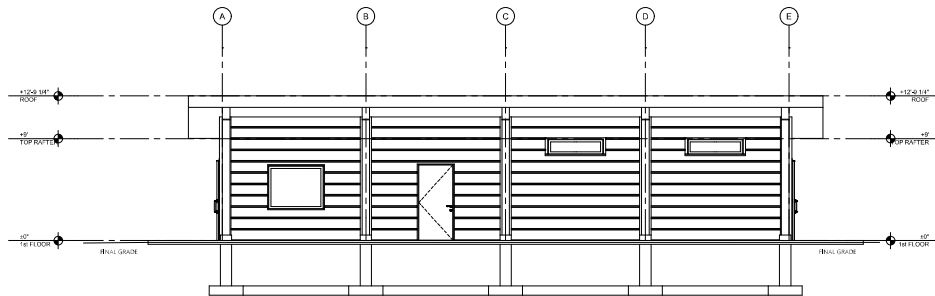
**PRINCETON RV AMENITIES**

NOTED: SEE PERMITS AND LOCAL BUILDING DEPARTMENT FOR ALL REGULATIONS AND REQUIREMENTS. THESE PLANS ARE THE PROPERTY OF OCTO ENGINEERING INC. AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF OCTO ENGINEERING INC.

**Sitka Log Homes**  
 200-25-10  
 13 COVER SHEET



FRONT ELEVATION



RIGHT ELEVATION



**NOTICE:** ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE SIKALOG HOME SPECIFICATIONS. SIKALOG HOMES, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS.

**LOG NUMBER:** Sika Log Homes  
**CLIENT:** PRINCETON RV AMENITIES  
**TITLE:** ELEVATIONS

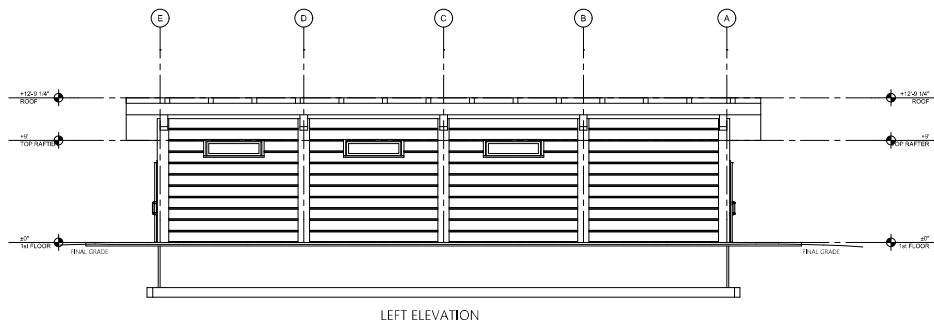
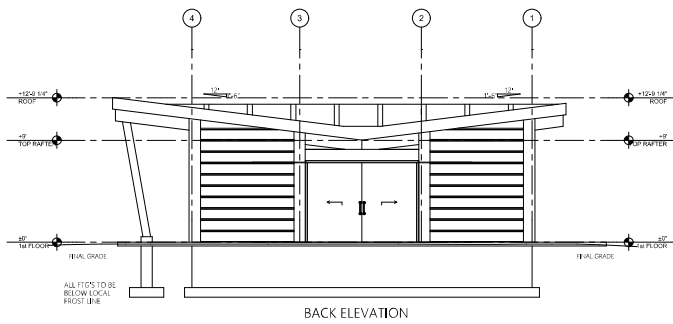
DATE	DESCRIPTION
REV. 3	
REV. 2	
REV. 1	

**SCALE:** 1/4" = 1'-0"  
**DOOR SIZES:**  
 CASE SIZES: C.C.  
**THRESHOLD:** C.C.

**LOG NUMBER:** Sika Log Homes  
**CLIENT:** PRINCETON RV AMENITIES  
**TITLE:** ELEVATIONS

13





NOTES:  
 1. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
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 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

**Sitka Log Homes**  
 1000 LOG HOME DRIVE  
 SITKA, ALASKA 99781  
 TEL: 907-339-1111  
 FAX: 907-339-1112  
 WWW.SITKALOGHOMES.COM

LOG NUMBER	DATE	DESCRIPTION
A-3	10/10/10	ELEVATIONS

LOG NUMBER: Sitka Log Homes  
 CLIENT: PRINCETON RV AVENUES  
 TITLE: ELEVATIONS  
 13