

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND DISCREPANCIES TO THE DESIGNER

DO NOT SCALE ANY OF THE DRAWING SHEETS

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GARTNER'S CUSTOM HOUSE DESIGN  
168 - 145B PENTICTON AVE  
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# TOPOROWSKI ADDITION

RESIDENTIAL BUILDING PERMIT DRAWINGS REGARDING:  
420 PANORAMA CRESCENT, OKANAGAN FALLS, BRITISH COLUMBIA

#### CONTACTS & DRAWING INDEX

##### ARCHITECTURAL DRAWINGS - SECTION 1.0

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- A002 ASSEMBLIES, GENERAL NOTES & SECTIONS
- A003 SITE PLAN & SITE INFORMATION
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NO.	DATE	REVISION
1	07/08/2021	Issue for EFP
2	01/07/2022	Issue for EFP

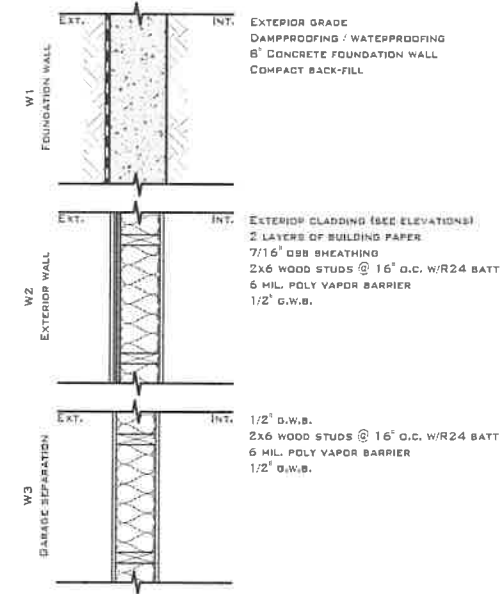
DATE: JANUARY 18, 2022  
JOB NO.: 210304  
SCALE:

PROJECT TITLE  
**TOPOROWSKI  
ADDITION**

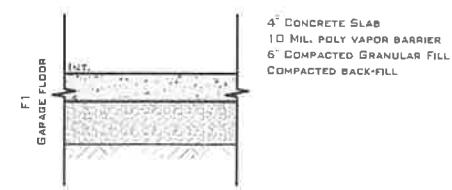
SHEET NUMBER  
**A001**

DRAWING TITLE  
**COVER PAGE &  
DRAWING INDEX**

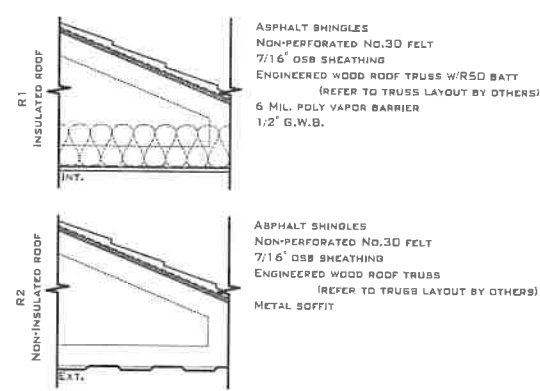
# ASSEMBLIES WALLS



# FLOORS



# ROOFS



# GENERAL NOTES

- GENERAL**
- GARTNER'S CUSTOM HOUSE DESIGNS HAS MADE EVERY EFFORT TO ENSURE THESE PLANS ARE COMPLETE AND ACCURATE BUT DUE TO POSSIBLE HUMAN ERROR, GARTNER'S CUSTOM HOUSE DESIGNS ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS TO THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO CHECK AND VERIFY ALL DIMENSIONS, STRUCTURE, AND CONDITIONS ON THE PLANS BEFORE STARTING CONSTRUCTION.
  - INFORM GARTNER'S CUSTOM HOUSE DESIGNS AS SOON AS POSSIBLE IF THERE ARE ANY DISCREPANCIES IN THE DRAWINGS.
  - THE CONTRACTOR IS RESPONSIBLE FOR CORRECT PLACEMENT OF THE BUILDING ON SITE WHICH WILL BE DETERMINED BY THE INTENDED SURVEYOR.
  - THESE PLANS HAVE BEEN DESIGNED IN COMPLIANCE WITH THE CURRENT VERSION OF THE CBCG. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL CODES AND BY-LAWS ARE MET.
  - GRADES SHOWN ON THESE PLANS IS ASSUMED AND IS THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER TO ENSURE ALL GRADES SLOPE AWAY FROM THE BUILDING.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR THE OWNER TO PROVIDE ANY ENGINEERING REQUIRED.

- ENGINEERING**
- ALL TRUSSES, PARALLEL BEAMS, AND HANGERS ARE TO BE VERIFIED AND CERTIFIED BY A REGISTERED STRUCTURAL ENGINEER.
  - TRUSS LAYOUT SHALL BE CONFIRMED BY MANUFACTURER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - ALL ENGINEERED DRAWINGS TO TAKE PRECEDENCE OVER SIZING AND LOCATION OF FOUNDATIONS AND OTHER ENGINEERED ELEMENTS SHOWN ON THESE PLANS.

- EXCAVATIONS**
- GEOTECHNICAL ENGINEER IS TO CLARIFY A SITE IS SAFE FOR WORKERS WHEN THE SLOPE OF THE EXCAVATIONS EXCEED 3/4 HORIZONTAL TO ONE VERTICAL OR EXCAVATION EXCEEDS 48".
  - INSPECTIONS CAN ONLY BE DONE IF SITE IS POSTED AS SAFE BY PROFESSIONAL ENGINEER.

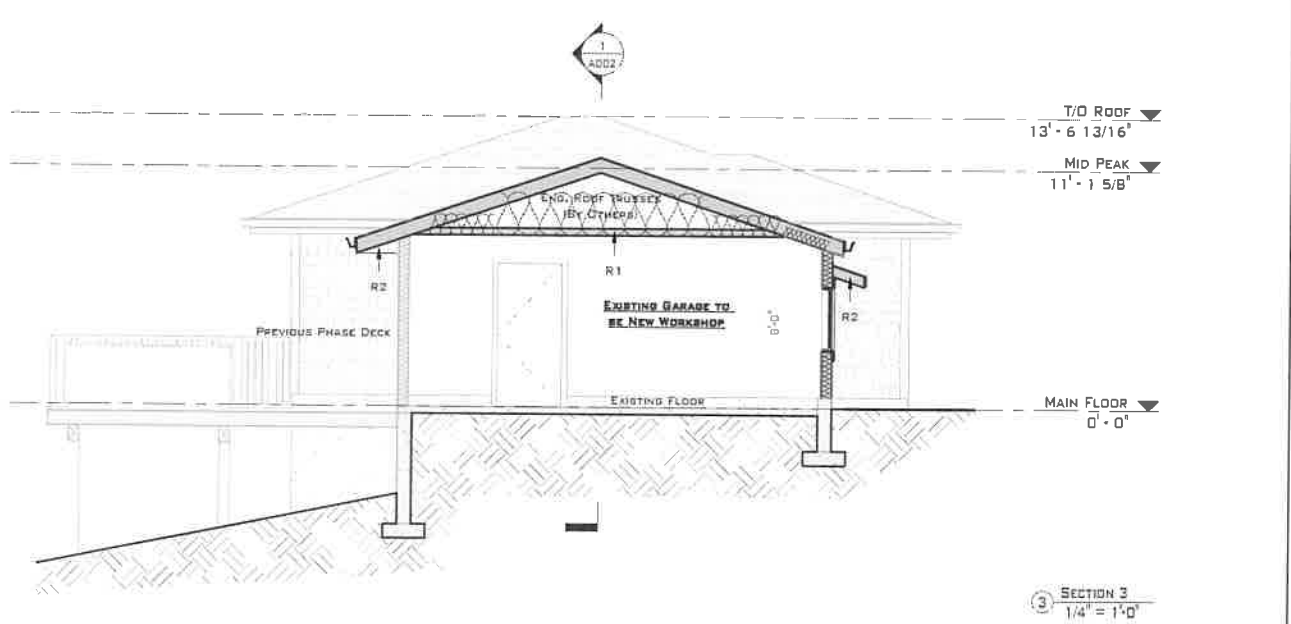
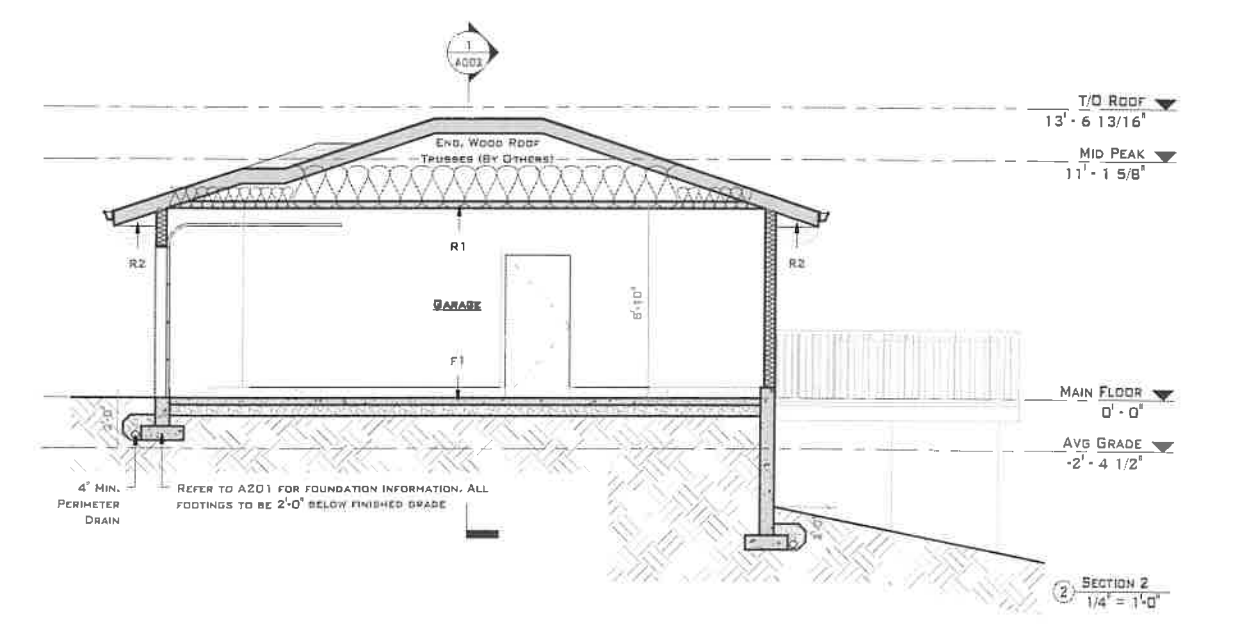
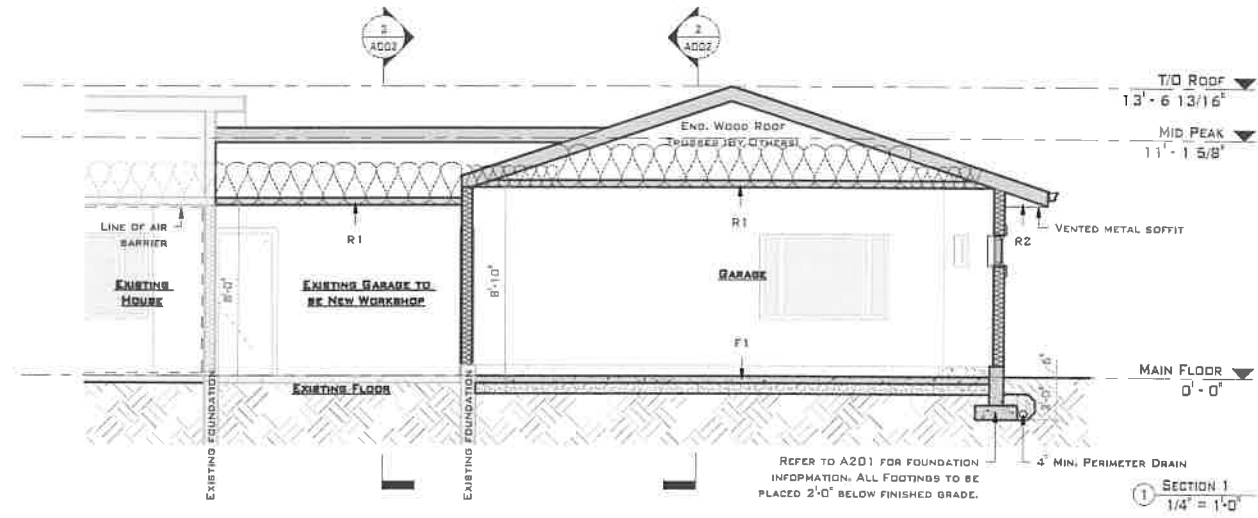
- VENTILATION**
- UNIFORMLY DISTRIBUTE VENTILATION TO FLAT AND VAULTED ROOFS TO 1/150 OF INSULATED CEILING AREA. VENTING IS REQUIRED TO BE TWO-WAY.
  - MINIMUM 2x2 CROSS PURLINS TO FLAT, VAULTED CEILINGS AND DECKS OVER LIVING AREAS TO CONFORM TO CBCG ARTICLE 9.19.1.2(4).
  - PROVIDE MINIMUM 2 1/2" CLEARANCE BETWEEN ROOF SHEATHING AND INSULATION AS PER CBCG ARTICLE 9.19.1.3. PROVIDE MINIMUM 1" CLEARANCE BETWEEN TOP OF DECK AND ROOF JOISTS AND INSULATION.
  - VENTILATE ATTICS TO 1/300 OF INSULATED AREA.
  - ROOF VENTS MUST BE UNIFORMLY DISTRIBUTED WITH A MINIMUM OF 25% @ BASE AND 25% IN ROOF TOP.
  - PROVIDE WEATHER STRIPPED ATTIC ACCESS OF 1'-8" x 2'-4" UNLESS OTHERWISE NOTED.
  - CONTINUOUS OR INTERMITTENT EXHAUST FANS ARE REQUIRED TO ALL BATHROOMS AND KITCHENS.

- GLAZING**
- GLASS IN WINDOWS AND DOORS TO BE DOUBLE GLAZED.
  - GLASS IN ENTRANCE, SHOWER, AND SLIDING DOORS AND WINDOWS WITHIN 8' OF FLOORS AND WITHIN 36" OF DEADBOLTS ARE ALL TO BE SAFETY GLASS.
  - SIDELIGHTS 20" OR GREATER IN WIDTH ARE TO BE MADE OF SAFETY GLASS.
  - WINDOWS IN WALLS ENCLOSING SHOWERS OR TUBS ARE TO BE SAFETY GLASS AND TO BE LOCATED ABOVE THE WATERPROOF WALL FINISH HEIGHT.
  - THE BOTTOM OF AN OPENABLE WINDOW IN A BEDROOM IS NOT TO EXCEED 4'-11" ABOVE THE FLOOR AND HAVE A MINIMUM OPENING WIDTH OF 15" WITH A MINIMUM AREA OF 3.75 SQFT.
  - WINDOW WELLS ARE TO BE 22" MINIMUM IN WIDTH WHEN REQUIRED AS A BEDROOM EGRESS.

- GARAGE**
- DOORS BETWEEN GARAGES AND DWELLINGS ARE TO BE SELF-CLOSING AND WEATHER-STRIPPED SOLID CORE DOOR.
  - THICKEN SLAB AT GARAGE ENTRY TO 18" BELOW GRADE.

- WOOD FRAME CONSTRUCTION**
- FRAMING METHODS AND PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE CBCG.
  - ALL FRAMING LUMBER TO BE NO.2 OR BETTER DOUGLAS FIR OR SPRUCE SPF. THE DESIGN AND STRUCTURAL MEMBERS HAS BEEN BASED ON SPAN TABLES FOR WOOD RAFTERS JOISTS AND BEAMS AS SHOWN IN PART 9 OF THE CBCG.
  - ALL LOAD BEARING LINTELS TO BE 2-2x10 UNLESS OTHERWISE NOTED.
  - ALL LOAD BEARING BEAMS SHALL NOT HAVE LESS THAN 3 1/2" OF EVEN AND LEVEL BEARING SUPPORTS.
  - ALL JOISTS SHALL HAVE A MINIMUM OF 1 1/2" BEARING AT SUPPORTS.
  - ALL CONCRETE AND WOOD CONTACTS SHALL BE DAMPROOFED WITH AN APPROVED SILL GASKET OR 6 MIL POLY.
  - EXPOSED LUMBER SHALL BE PRESSURE TREATED OR OTHERWISE PROTECTED WITH AN APPROVED PRESERVATIVE.
  - ALL PLYWOOD SUBFLOORS ARE TO BE GLUED AND SCREWED TO THE FLOOR JOISTS.
  - FLOOR AND ROOF JOIST SPANS OF MORE THAN 6' - 10" SHALL BE BRIDGED AT MIDSPAN OR AT 6' - 10" O.C. MAX WITH 2x2 CROSS BRACING OR SOLID BLOCKING 1x3 STRAPPING @ 6' - 10" O.C. MAX OR GYPSUM BOARD TO UNDERSIDE OF JOISTS.

- OTHER NOTES**
- REFER TO SITE PLAN & SITE INFORMATION ON SHEET A003 FOR BUILDING FOOTPRINT(S)



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DATE: JANUARY 18, 2022  
 JOB NO.: 210304  
 SCALE: AS INDICATED

PROJECT TITLE  
**TOPOROWSKI ADDITION**  
 SHEET NUMBER

**A002**

DRAWING TITLE  
**ASSEMBLIES, GENERAL NOTES & SECTIONS**

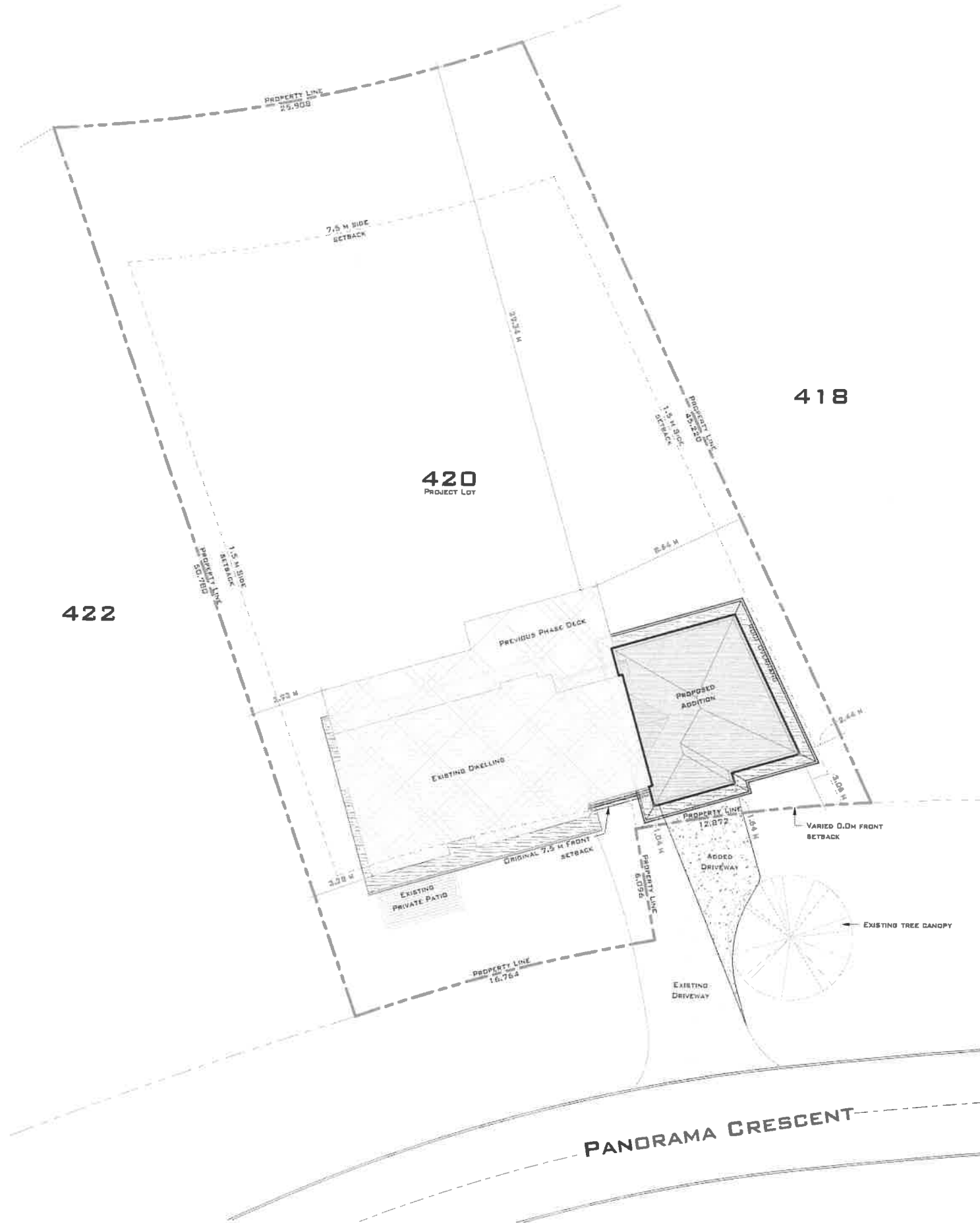
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# PROJECT / ZONING DATA

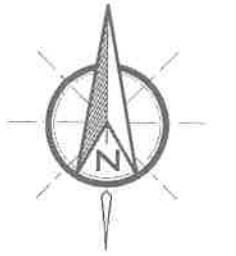
PROJECT ADDRESS:	420 PANORAMA CRESCENT, OKANAGAN FALLS, BC
LEGAL DESCRIPTION:	LOT 9, PLAN KAP16380, DL461 SIMILKAMEN DIV OF YALE
ZONING:	RS2
SITE AREA:	14,126 SQFT
FOOTPRINTS:	
EXISTING DWELLING:	1,054 - SQFT
PREVIOUS PHASE DECK:	577 - SQFT
WORKSHOP:	245 SQFT
PROPOSED GARAGE:	701 - SQFT
TOTAL:	2,577 - SQFT

**NOTES:**  
 BUILDER IS TO CONFIRM BUILDING LOCATIONS WITH OWNER PRIOR TO CONSTRUCTION & CONFIRM EXISTING CONDITIONS  
 ROOF DRAINAGE SYSTEM SPLASH PADS REQUIRED FOR ROOF RAIN WATER LEADERS AS PER BCOTEC#1  
 NO VENTED SOFFITTING ON ANY OVERHAND THAT IS WITHIN 1.2M OF PROPERTY LINE.

ROOF BYLAW REQUIREMENTS FOR PRINCIPAL DWELLINGS IN RS2:		PROJECT BYLAW SUMMARY:	
MINIMUM LOT AREA:	500 M <sup>2</sup>	LOT AREA:	1,312.3 M <sup>2</sup>
MINIMUM LOT WIDTH:	>25% LOT DEPTH	LOT WIDTH:	25.6 M (50% LOT DEPTH)
<b>SETBACKS:</b>		<b>SETBACKS:</b>	
FRONT YARD:	0.0 M (VARIED)	FRONT YARD:	1.04 M
REAR YARD:	7.5 M	INTERIOR SIDE YARD:	2.44 M
INTERIOR SIDE YARD:	1.5 M	EXTERIOR SIDE YARD:	N/A
EXTERIOR SIDE YARD:	4.5 M	REAR YARD:	29.34 M (PREVIOUS PHASE)
MAXIMUM HEIGHT:	10.0 M	HEIGHT:	4.86 M
MAXIMUM LOT COVERAGE:	45 %	LOT COVERAGE:	239.4 M <sup>2</sup> (18.24%)



GARTNER'S CUSTOM HOUSE DESIGN  
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PROJECT TITLE  
**TOPOROWSKI ADDITION**

SHEET NUMBER  
**A003**

DRAWING TITLE  
**SITE PLAN & SITE INFORMATION**

1 SITE  
 1" = 10'-0"

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# FOUNDATION NOTES

## FOUNDATIONS & FOOTINGS

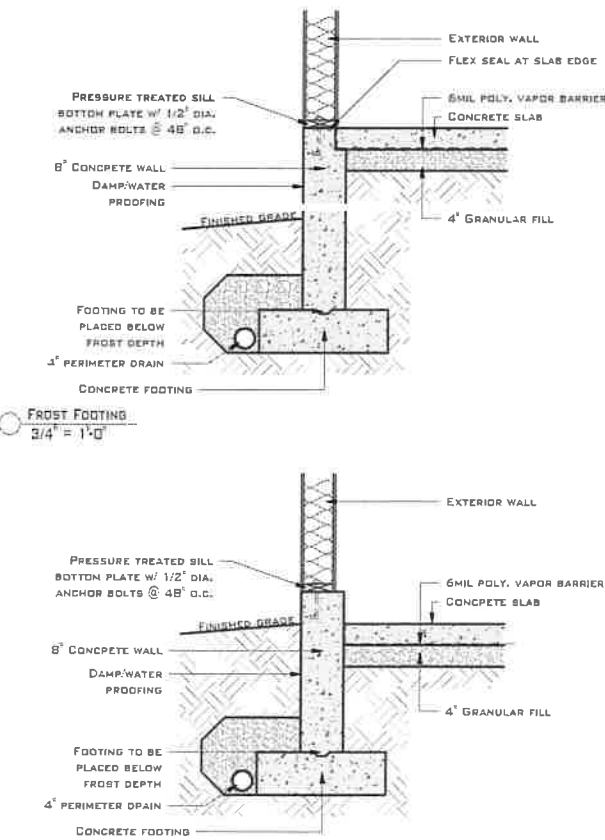
1. CONCRETE TO BE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPA CORROSIVE RES. AT 28 DAYS UNLESS NOTED OTHERWISE WHILE GARAGES, CAPPOTS, AND EXTERIOR STEPS ARE TO BE AT 32 MPA
2. CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL AT AN ELEVATION BELOW FROST PENETRATION
3. FOOTINGS SHOWN ON THIS DRAWING HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2000 PSF
4. ALL FOUNDATION WALLS ARE TO HAVE ONE HORIZONTAL 10M R-BAR INSIDE OF CENTERS 4' FROM THE TOP OF THE CORNER REINFORCING BARS TO BE LAPPED MIN 24"
5. ALL STRIP FOOTINGS ARE TO HAVE CONTINUOUS 10M R-BARS
6. 10M R-BARS AT 6" O.C. EACH WAY ARE RECOMMENDED IN ALL PAD FOOTINGS
7. 4' MINIMUM OF AT LEAST 3/4" RADON ROCK IS TO BE USED UNDER ANY FOUNDATION SLABS
8. HORIZONTAL REINFORCEMENT SHALL CONSIST OF 10M R-BARS @ 24" O.C. LESS THAN 12" FROM TOP W/ 1" OF COVER
9. VERTICAL REINFORCEMENT SHALL CONSIST OF 10M R-BARS @ 10" O.C. LESS THAN 24" FROM OPENINGS W/ 1" OF COVER
10. BOTTOM FOUNDATION WALL LATERAL SUPPORT METHOD TO BE 15M WET DOWEL SPACED @ 48" O.C.
11. PAD FOOTINGS ARE REQUIRED TO BE 26" x 26" x 9" MINIMUM. UNLESS OTHERWISE NOTED
12. FOP PAD FOOTING REINFORCEMENT USE THREE 12" ANGLED R-BARS FROM FOOTING TO FOUNDATION
13. PROVIDE 1/2" DIAMETER ANCHOR BOLTS @ 8" o' o.c.
14. ANCHOR POSTS TO FOOTINGS TO RESIST UPLIFT

## 9.13.4.3. PROVISIONS FOR THE BOUNDARY FOR A SUBFLOOR DEPRESSURIZATION SYSTEM

1. INSTALL A MIN. 4" DIA. PVC PIPE LABELED AS PER 9.16.2.1(1) & 9.13.4. OF THE 2018 CBC AND AS SHOWN ON THE ATTACHED DRAWINGS. ENSURE THAT THE END IS BURIED UNDER THE SLAB OR GROUND COVER AND IS COVERED WITH A SCREENED MATERIAL AND SECURED TO PIPE TO PREVENT ANY OF THE COMPACTED GRANULAR FILL FROM ENTERING THE OPEN END OF THE PIPE. ENSURE A MIN OF 4" GRANULAR FILL AS PER 9.16.2.1(1) OF THE 2018 CBC
2. INSTALL THE REQUIRED POLY VAPOR BARRIER OVER THE ENTIRE AREA AND WRAP UP ANY VERTICAL SURFACES AND SEAL WHERE POSSIBLE. ENSURE VAPOR BARRIER IS INSTALLED WITHOUT GAPS, TEARS OR HOLES. ALL LAP JOINTS TO BE TAPPED.
3. INSTALL A PVC PIPE UPSTAND AS PER A-9.13.4.3(2)(b) & (3)(b)(ii) OF THE 2018 CBC. PROVIDE AN AIR-TIGHT CAP LABELED "RADON" FOR FUTURE USE AFTER TESTING IS COMPLETE. UPSTAND TO EXTEND 3" ABOVE FINISHED SLAB OR TO A HEIGHT IN ORDER TO CONNECT TO AN EXHAUST FAN.
4. INSTALL REINFORCEMENT AS REQUIRED AND POUR SLAB OR GROUND COVER
5. TESTING FOR RADON CAN BE COMPLETED AFTER THE BUILDING ENVELOPE IS AIR-TIGHT. INFORM YOUR COORDINATING REGISTERED PROFESSIONAL FOR RADON GAS TESTING AND CERTIFICATION.
6. IF THE TEST RESULTS ARE NEGATIVE, PLACE A PERMANENT CAP ON THE UPSTAND AND LABEL THE TOP OF THE PIPE ACCORDINGLY AS "NEGATIVE" INCLUDE RESULTS AND TEST DATE OF THE TEST.
7. IF THE TEST RESULTS ARE POSITIVE, INSTALL A MECHANICAL EXHAUST FAN AND ASSOCIATED DUCTWORK TO PROVIDE APPROPRIATE CONTINUOUS VENTING TO THE EXTERIOR THROUGH AN ENCLOSED SHAFT (AND IF NECESSARY, FIRE-RATED). COORDINATION BETWEEN THE ARCHITECTURAL DESIGNER AND THE MECHANICAL DESIGNER MAY BE NECESSARY. AS AN ALTERNATIVE, PROVIDE A SEPARATE DUCT SHAFT IN TANDEM WITH A B-VENT (OR SIMILAR) TO EXHAUST TO THE ROOF OR THROUGH AN EXTERIOR WALL.

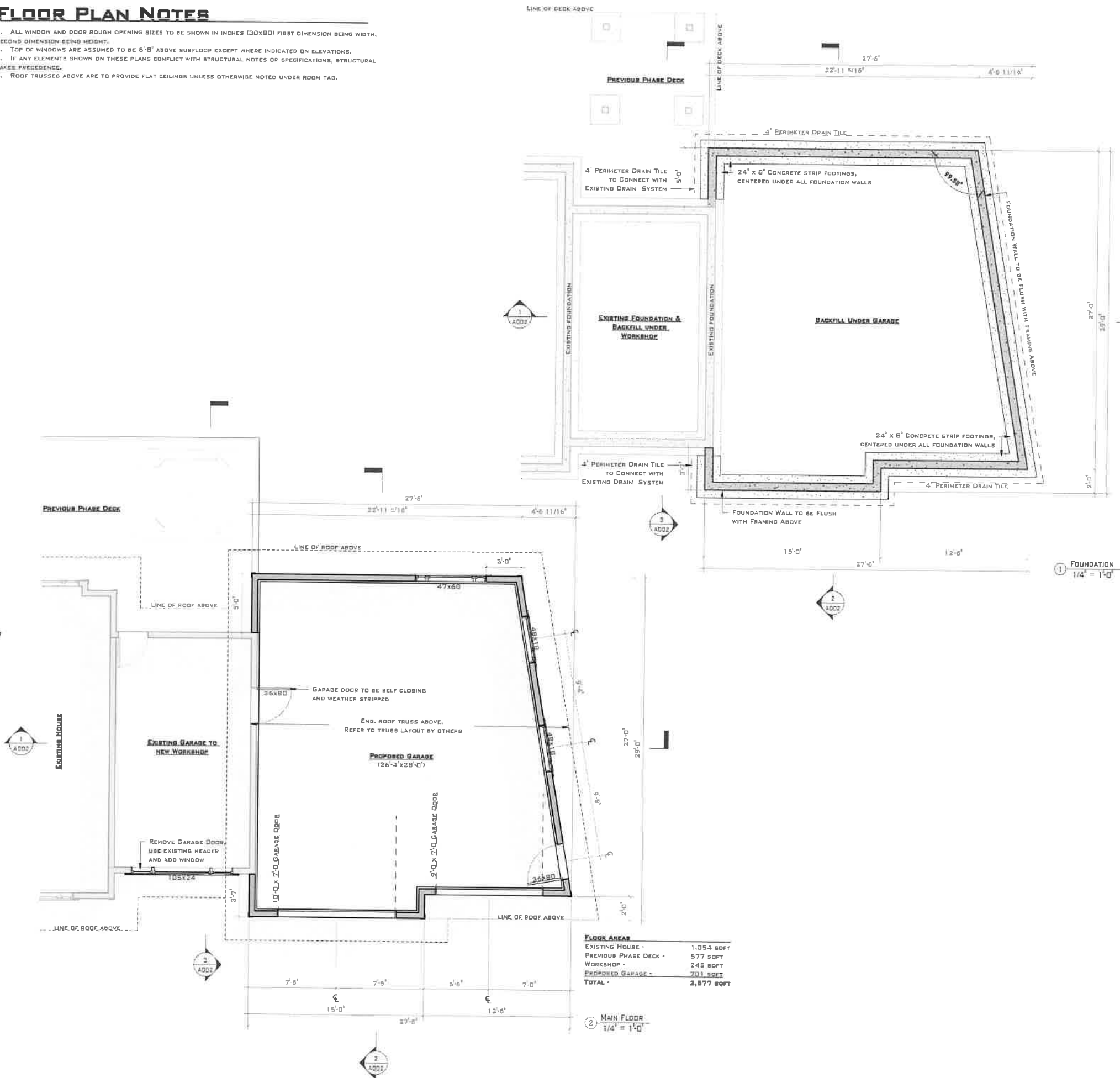
## OTHER NOTES

1. IF ANY ELEMENTS SHOWN ON THESE PLANS CONFLICT WITH STRUCTURAL NOTES OR SPECIFICATIONS, STRUCTURAL TAKES PRECEDENCE.
2. FOR ALL PROPOSED CONCRETE TO EXISTING CONCRETE CONNECTIONS, DRILL 1/2" DIA. HOLES INTO EXISTING CONCRETE MIN. 4" IN DEPTH. EPOXY AND 10M R-BAR TO BE INSTALLED FROM PROPOSED CONCRETE INTO DRILLED HOLES.
3. EXISTING DRAINAGE SYSTEM, FOOTINGS, & FOUNDATIONS HAVE NOT BEEN OBSERVED BY GCHD. SHOWN FOUNDATIONS AND FOOTINGS ARE ASSUMED AND SHOWN TO CONVEY NOTES



# FLOOR PLAN NOTES

1. ALL WINDOW AND DOOR ROUGH OPENING SIZES TO BE SHOWN IN INCHES (30x80) FIRST DIMENSION BEING WIDTH, SECOND DIMENSION BEING HEIGHT.
2. TOP OF WINDOWS ARE ASSUMED TO BE 6'-8" ABOVE SUBFLOOR EXCEPT WHERE INDICATED ON ELEVATIONS.
3. IF ANY ELEMENTS SHOWN ON THESE PLANS CONFLICT WITH STRUCTURAL NOTES OR SPECIFICATIONS, STRUCTURAL TAKES PRECEDENCE.
4. ROOF TRUSSES ABOVE ARE TO PROVIDE FLAT CEILINGS UNLESS OTHERWISE NOTED UNDER ROOM TAG.



GCHD  
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DATE: JANUARY 18, 2022  
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**TOPOROWSKI ADDITION**

SHEET NUMBER  
**A004**

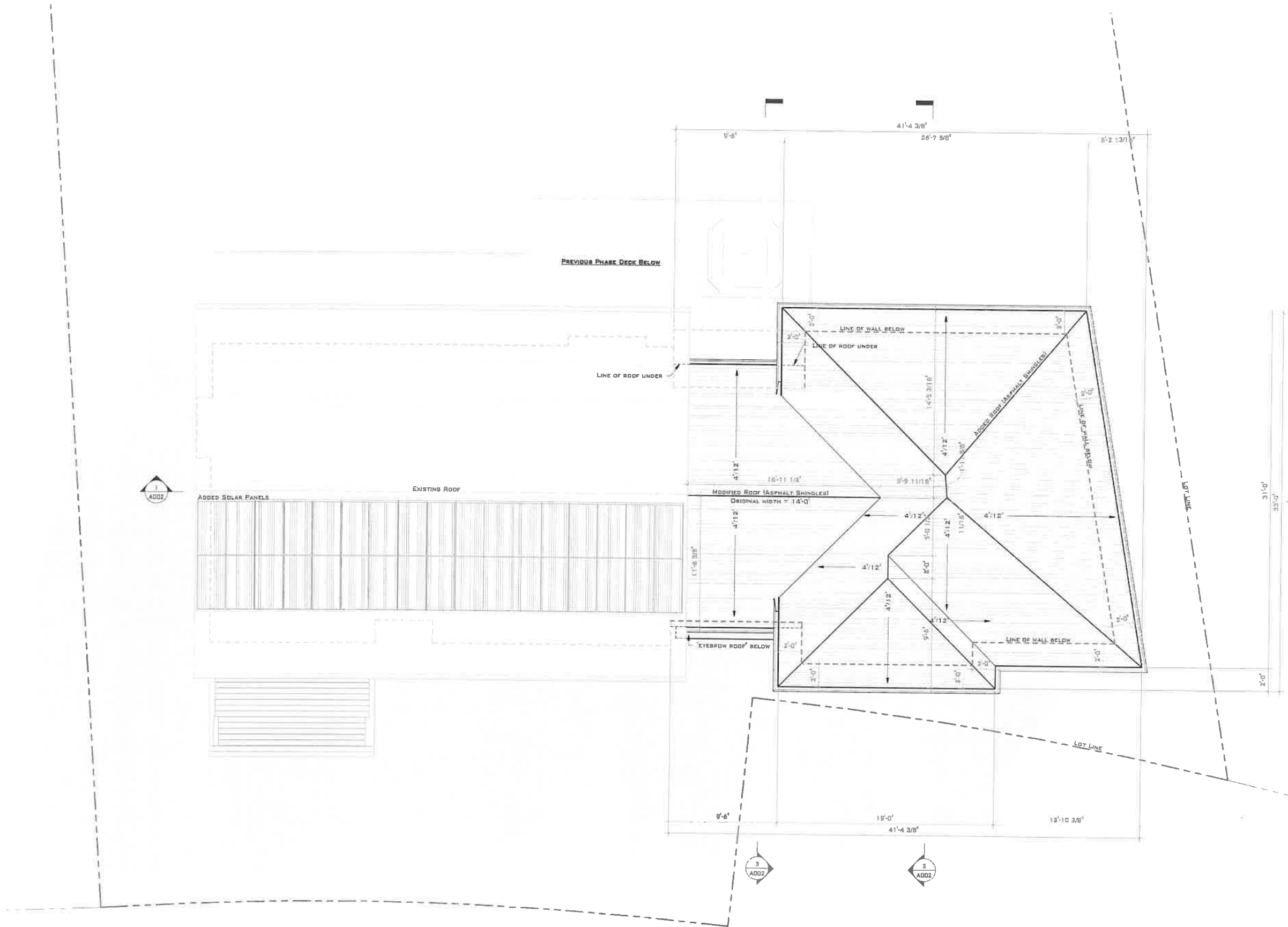
DRAWING TITLE  
**FOUNDATION & MAIN FLOOR PLANS**

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 GARTH@GCHD.COM



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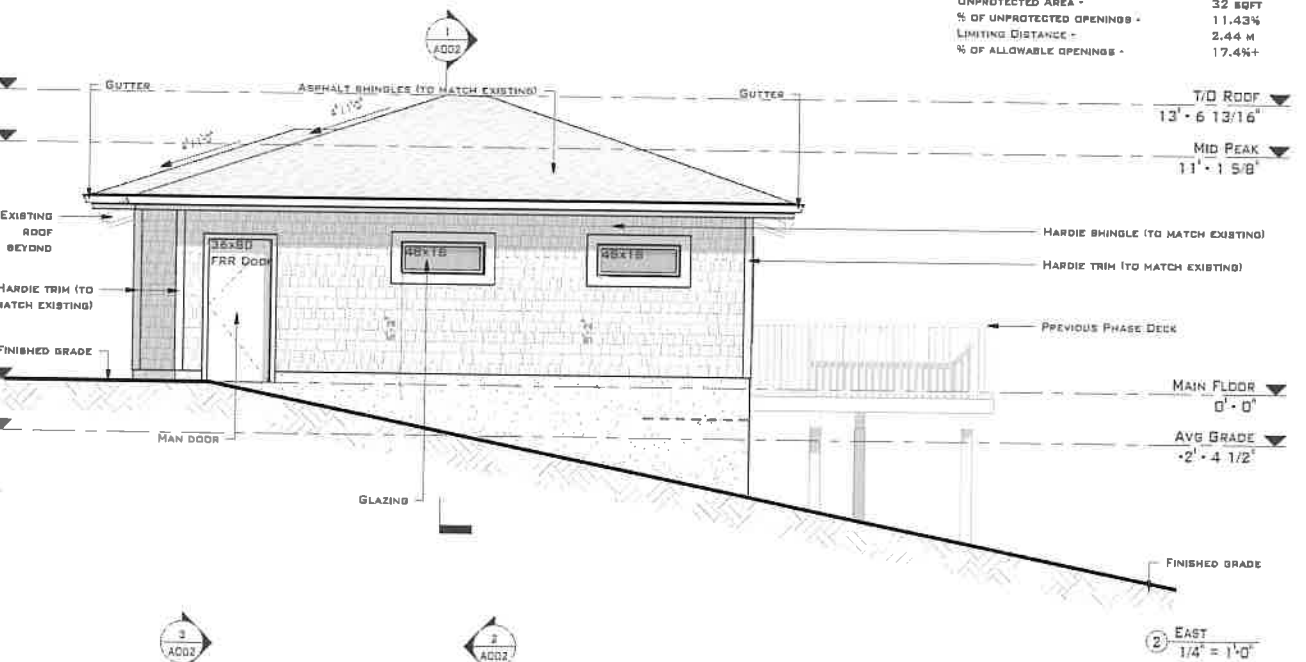
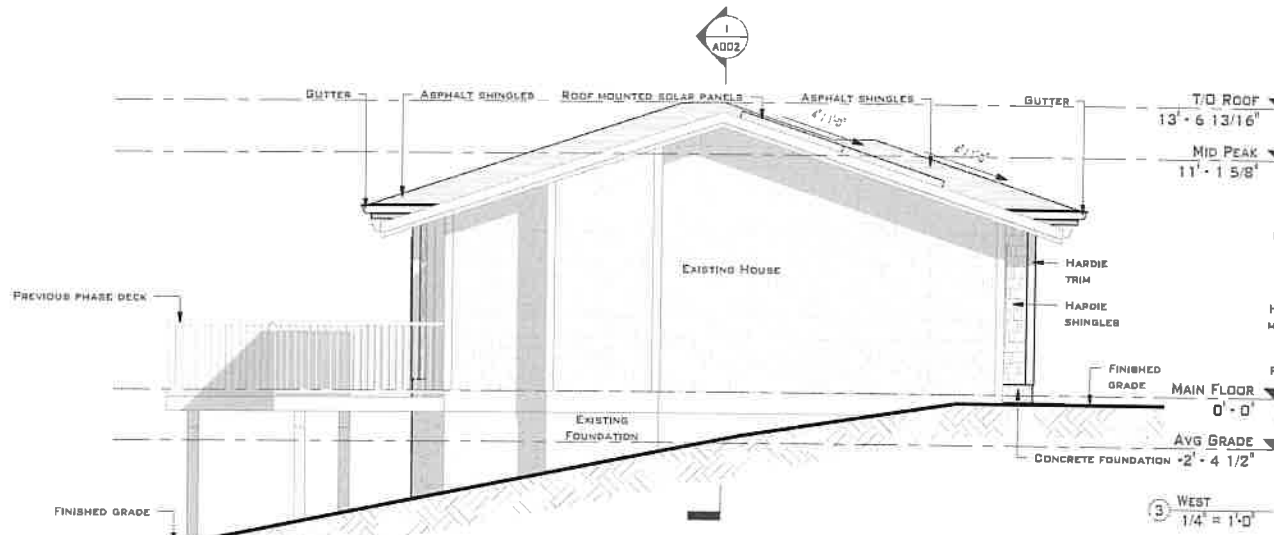
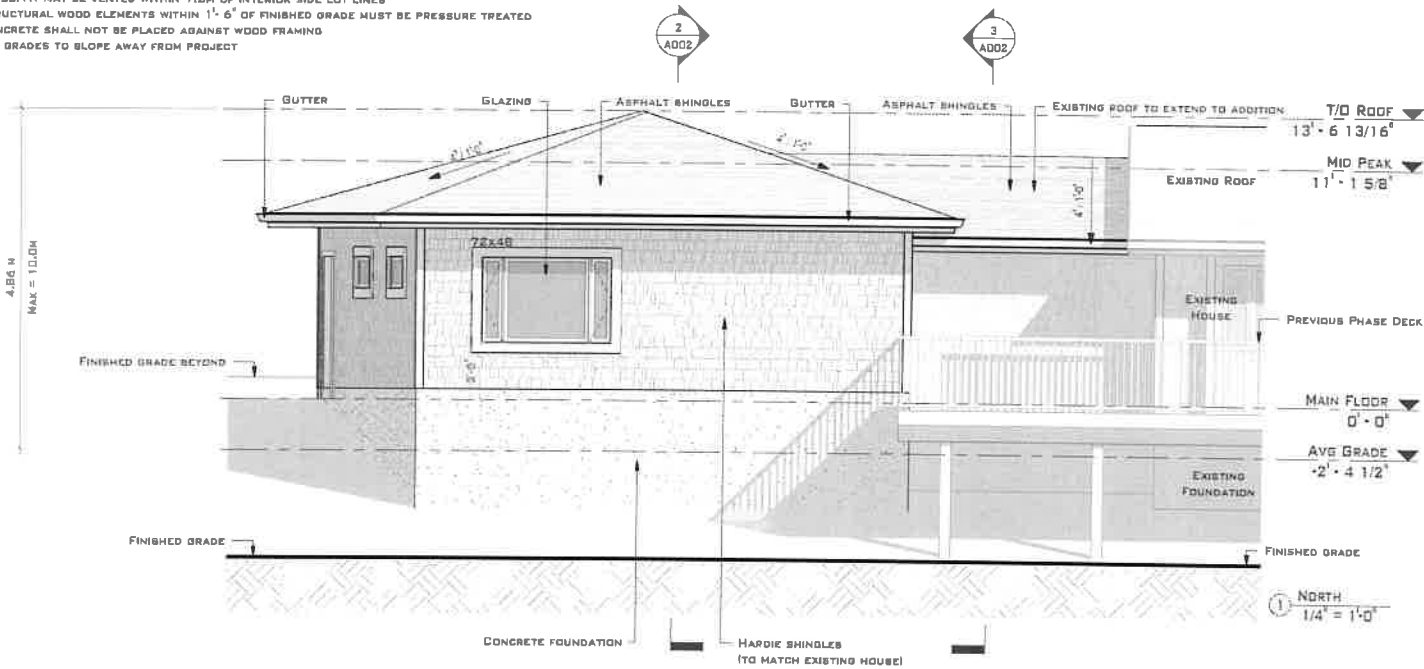
SHEET NUMBER  
**A005**

DRAWING TITLE  
**ROOF PLAN**

1 ROOF  
 1/4" = 1'-0"

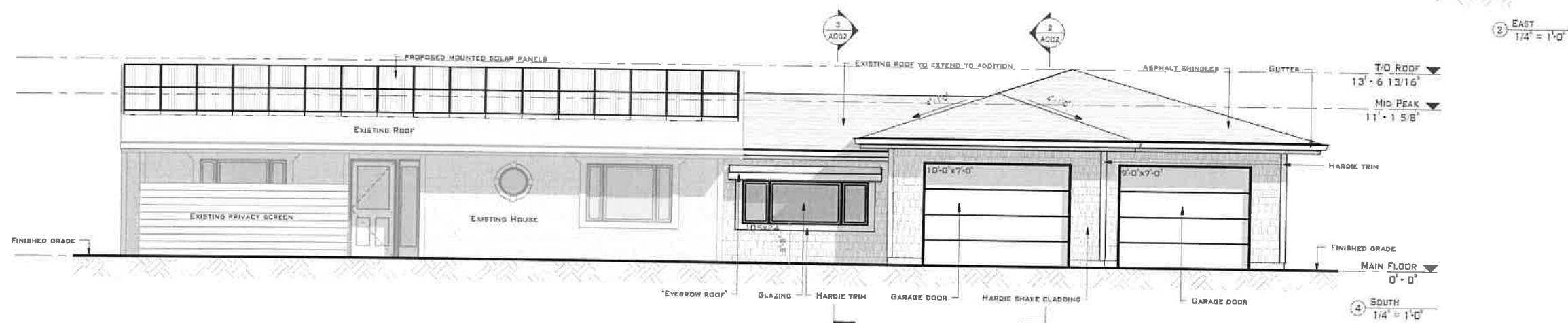
# ELEVATION & EXTERIOR NOTES

1. ALL WINDOWS & DOORS SHALL CONFORM TO BOBC 9.7.
2. TOP OF WINDOWS ARE ASSUMED TO BE 6'-0" ABOVE SUBFLOOR EXCEPT WHERE INDICATED.
3. RESISTANCE TO FORCED ENTRY REQUIRED FOR WINDOWS WITHIN 2.0M OF FINISHED GRADE
4. FLASHING REQUIRED ABOVE & BELOW ALL UNPROTECTED OPENINGS & HORIZONTAL TRANSITIONS
5. NO SOFFIT MAY BE VENTED WITHIN 1.2M OF INTERIOR SIDE LOT LINES
6. STRUCTURAL WOOD ELEMENTS WITHIN 1'-6" OF FINISHED GRADE MUST BE PRESSURE TREATED
7. CONCRETE SHALL NOT BE PLACED AGAINST WOOD FRAMING
8. ALL GRADES TO SLOPE AWAY FROM PROJECT



**EXPOSED EAST FACE:**

AREA -	280 SQFT
UNPROTECTED AREA -	32 SQFT
% OF UNPROTECTED OPENINGS -	11.43%
LIMITING DISTANCE -	2.44 M
% OF ALLOWABLE OPENINGS -	17.4%+



BAPTIST'S CUSTOM HOUSE DESIGN  
 188 - 1488 POLYTECH AVE  
 PORTER, BC V3A 9L3  
 (250) 487-8278  
 WWW.BAPTISTSCHD.COM  
 SB@BAPTISTSCHD.COM

THIS PLAN AND DESIGN IS AND AT ALL TIMES REMAINS THE EXCLUSIVE PROPERTY OF BAPTIST'S CUSTOM HOUSE DESIGN (BCD) AND MAY NOT BE USED OR REPRODUCED WITHOUT THE BCD'S WRITTEN CONSENT. GCHD SHALL BE INFORMED OF ANY VARIATIONS FROM INFORMATION SHOWN ON THIS DRAWING.

CONTRACTORS ARE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO ANY CONSTRUCTION OR FABRICATION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DEVELOPER.

ONE OF GCHD'S GOALS IS TO IMPROVE THESE DRAWINGS. FEEDBACK IS IMPORTANT. THERE MAY BE ADDITIONAL INFORMATION NEEDED OR THERE MAY BE A BETTER WAY TO BUILD. GCHD WOULD LIKE TO HEAR ABOUT IT. LET US KNOW IF THESE DRAWINGS CAN BE MADE BETTER FOR YOU.

NO.	DATE	REVISION
1	07/06/2021	ISSUE FOR EP
2	01/07/2022	ISSUE FOR EP

DATE: JANUARY 18, 2022  
 JOB NO.: 210304  
 SCALE: 1/4" = 1'-0"

PROJECT TITLE  
**TOPOROWSKI  
 ADDITION**

SHEET NUMBER  
**A006**

DRAWING TITLE  
**ELEVATIONS**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER. THIS DRAWING SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT FROM THE DESIGNER.