



**Design
Build**

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2024-02-28

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STANDARD NOTES

- All work shall conform to the current BC Building Code (2018) Parts 9 & 10 and local Bylaws.
- All work shall be equal in all aspects to good building practices.
- Written dimensions take precedence over scaling from drawings.
- Any variances from the structural drawings and specifications, and/or adjustments required resulting from conditions encountered at the job site are the sole responsibility of the Owner and/or Builder.

ERRORS AND OMISSIONS

- Desert Valley Consulting LTD. makes every effort to provide complete and accurate building plans. However, we assume no liability for any errors or omissions that may affect construction. It is the responsibility of the Builder to check and verify all dimensions and details before proceeding with construction and/or excavation.
- Should any discrepancies be found on these plans please advise myself at your earliest convenience. By doing so I am able to make corrections to the drawings and replace any plans if necessary. In this way I can better serve you and prevent errors from recurring.

BUILDING PERMITS AND HOME OWNER WARRANTY PROTECTION

- Under no circumstances is work to commence until the Building Permit has been obtained.
- It is the responsibility of the Owner to obtain all the appropriate Building Permits and approvals from the authority having jurisdiction.
- It is the responsibility of the Owner to obtain a HPO number if he/she decides to undertake this project without a fully registered Builder.

RIPARIAN AND FLOODPLAIN

- It is the Owners responsibility to determine if their building location will invoke any Riparian and/or Floodplain issues.
- All costs associated with Riparian and/or Floodplain issues are the sole responsibility of the Owner.

STRUCTURAL DESIGN AND ENGINEERING

- In some instances it may be required to use beam sizes, framing details, foundation sizes, etc. not specified by the current BC Building Code. The governing Building Department may require confirmation by a certified Structural Engineer.
- In this area the Ground Snow Load often exceeds the design limits of the BC Building Code. In these instances a certified Structural Engineer is required to design and approve all supporting wall structures (i.e. Walls and Foundations).
- All costs for Structural Engineering are the responsibility of the Owner or Builder.

STRUCTURAL DESIGN CRITERIA

- Unless otherwise specified all dimensional lumber is Spruce/Pine/Fir #2 or better.
- Concrete Foundations and Slabs-on-Grade have a minimum compressive strength of 20 mpa at 28 days.
- Garage, Carport and Patio Slabs, as well as exterior Steps, have a minimum compressive strength of 32 mpa at 28 days.
- Roof Loads (Ground Snow Load) are dependent on Location and/or Elevation.
- Minimum Footing Depth for Frost Protection also varies from Location and/or Elevation. Residential
- Floor Loads are designed for a minimum 1.9 kPa (maximum 2.4kPa)
- Residential Decks are designed for a minimum of 1.9 kPa or Snow Load, whichever is greater.
- Reinforcing Steel:
 - In Footings shall be placed 3" above base
 - In Walls and Columns 1 1/2" beyond the inside face of formwork.
 - In Floor Slabs shall be placed in the center of slab

SITE PLAN NOTES

- The Owner and/or Builder are responsible for the correct siting of this building on the property. Desert Valley Consulting LTD. strongly recommends using a Registered Legal Land Surveyor to ensure the building is sited correctly and within all legal setbacks.
- Highways Access, driveways, potable water wells, and septic disposal systems are to be located and constructed in accordance with local governing bodies.

RENOVATIONS AND ADDITIONS

- Renovations and Additions of much older homes, particularly those that did not use Engineered Roof Trusses, may require Structural Engineering. These costs are the responsibility of the Owner.
- Additions in many rural areas require certification that the existing sewage disposal system will be able to handle any increased capacity due to the addition. This is the responsibility of the Owner.
- ALWAYS remeasure the area of construction, and roof slopes prior to commencing any construction and/or ordering materials (particularly roof trusses).

EXCAVATION, FOUNDATION AND BACKFILLING

- The excavation shall extend to a depth free of all organic and/or unsuitable materials.
- The excavated area shall be kept free from standing water.
- Foundations shall be concrete on solid undisturbed bearing.
- Bottom of all exterior footings and pads must be at the specified depth below grade for this region for frost protection.
- Foundation walls shall not be backfilled until concrete has reached its specified 28-day strength or until it is adequately braced subject to the approving authority.
- Grades shown on plans are estimated. Foundation wall heights may require adjustments to suit site conditions.
- All concrete, masonry and ICF foundation walls exceeding height limits specified by the current BC Building Code require Engineering.
- Perimeter drainage shall be installed where required by the approving authorities.
- Backfill materials shall consist of granular material compacted to 98% Standard Dry Proctor.
- All backfilling shall be carried out in a manner that prevents damage to the foundation, damp proofing membrane and/or any drain tile.

DIMENSIONING

- Exterior dimensions are from the outside face of exterior wall sheathing to the center of partition walls as well as door and window openings unless otherwise shown. Where there are attached Garages this dimension is to the Garage side of the Wall. The sheathing face of the exterior stud is assumed to be flush with the concrete foundation.
- Interior dimensioning is from the inside stud face to inside stud face unless otherwise indicated.

WOOD FRAMING

- Unless otherwise specified all dimensional lumber is Spruce/Pine/Fir #2 or better.
- All floor sheathing is min. 5/8" T & G Plywood unless otherwise noted.
- All roof sheathing is min. 7/16" OSB unless otherwise noted.
- All exterior wall sheathing is 7/16" OSB unless otherwise noted.
- Joists shall be doubled under parallel partitions over 6'-0" long.
- Joists shall be placed to accommodate plumbing, heating, etc. Pay particular attention to toilet locations.
- All Lintels, Headers and Beams shall be engineered Parallam PSL 2.0E unless noted otherwise. Provide manufacturers specification sheets at time of inspection.
- Provide manufactures specification sheets for engineered floor systems and engineered roof trusses at time of inspection.

ELECTRICAL AND HEATING

- Little to no Electrical or Heating is indicated on these plans.
- Electrical work requires a separate Permit and Inspections.
- Gas connections require a separate Permit and Inspections.
- Installation of all electrical items must comply with local electrical codes and regulations and with the local electric power supplier's regulations in all aspects.
- Installation of entire heating systems, whether electric, forced warm air, or hot water, must comply with manufacturers directions and conform to local codes and regulations in all aspects (9.32 - 9.36)
- Fuel burning appliances, including furnaces, fireplaces and stoves to be provided with outside combustion air.

MUST COMPLY WITH 9.36 2018 BCBC FOR ENERGY EFFICIENCY

- The flow rates of fittings that supply water to plumbing fixtures must not exceed the maximum flow rates specified on Table 10.3.1.1
- The flush cycle for the installation of a water closet or urinal must not exceed the flush cycle listed for that fixture in Table 10.3.1.2
- 6-mil poly vapour barrier with a UV protection shall be installed on the warm side of insulation.
- Ceiling insulation may be loose fill type or batt type unless otherwise noted.
- Wall and wood floor insulation shall be batt type unless otherwise noted.
- Provide baffle for air space (equal to soffit venting) between the insulation and roof sheathing at the exterior wall line.
- Walls and ceilings between residence and attached garage or carport shall be insulated.
- All roof or attic spaces shall be ventilated with soffit, roof or gable vents, or a combination of these.
- Attics or roof spaces to be vented a minimum 1/300 of area.
- Unheated crawlspaces to be vented a minimum of 1/500 of area. Vents shall be uniformly distributed on opposite sides of the building, and designed to prevent the entry of snow, rain and insects.

DOORS - Must meet N.A.F.S. and 2018 BCBC (labels must remain in place)

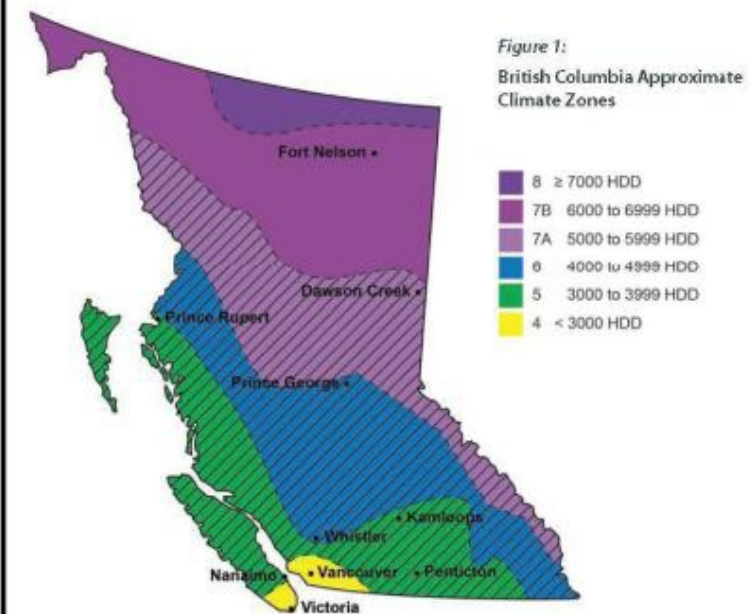
- Exterior doors shall be solid core and weather-stripped.
- Garage doors to dwelling units to be solid core, weather-stripped and self-closing.
- Sliding Glass doors shall have safety glass.
- Door sizes are shown by width x height. i.e. 2668 is 2' - 6" x 6' - 8"
- Openings in partitions shown without doors are full height unless shown as an arch or indicated as having a bearing capacity.

WINDOWS - Must meet N.A.F.S. & 2018 BCBC (labels must remain in place)

- Due to the many styles of windows no information is provided on the plans as to which windows are operable. Consult with Owner when pricing.
 - Each bedroom shall have at least one outside window or exterior door operable from the inside without the use of keys, tools or special knowledge. This window shall provide an unobstructed opening of not less than 3.76sf (0.35 sq. m). in area with no dimension less than 15" (380mm).
 - Window sizes are shown by width x height. i.e. 6040 is 6' - 0" x 4' - 0"
- #### FINISHING
- The Owner shall specify all interior and exterior finishing.
 - Any finishing shown on the plans to be confirmed by the Owner.
 - Unless otherwise noted all clothes closets have a finished depth of 24"

SITE GRADING

- The site shall be graded to ensure surface water is directed away from the building.



APPROX. CLIMATE ZONES
(from HPO Illustrated Guide)



AGRICULTURE ONE ZONE (AG1)

10.2.1 Permitted Uses:

Principal Uses:

- a) agriculture, subject to Section 7.23;
- b) equestrian centre;
- c) single detached dwelling or mobile home;
- d) veterinary establishments;

Secondary Uses:

- e) accessory dwelling, subject to Section 7.11;clii
- f) bed and breakfast operations, subject to Section 7.19;
- g) brewery, cidery, distillery, meadery or winery, subject to Section 7.24;
- h) home industries, subject to Section 7.18;
- i) home occupations, subject to Section 7.17;
- j) kennels, subject to Section 7.25;
- k) packing, processing and storage of farm and off-farm products;
- l) retail sales of farm and off-farm products, subject to Section 7.24;
- m) secondary suites, subject to Section 7.12; and
- n) accessory buildings and structures, subject to Section 7.13.

10.2.6 Minimum Setbacks:

- e) Accessory buildings and structures, on parcels less than 0.2 ha:
 - i) Front parcel line: 7.5 metres
 - ii) Rear parcel line: 1.0 metres
 - iii) Interior side parcel line: 1.0 metres
 - iv) Exterior side parcel line: 4.5 metres

Maximum Height:

- a) No building, accessory building or structure shall exceed a height of 10.0 metres.

Maximum Parcel Coverage:

- a) for parcels 0.8 ha or less in area:
 - i) 800 m2

Existing House 1306 sqft
 Existing Shed 360 sqft
 Proposed Garage 720 sqft
 Total 2386 sqft or 221.66 sq meters
 Land 24,393.6 sqft
 10.22 % lot coverage

Legal description and parcel ID

LOT 1, PLAN KAP11800, DISTRICT LOT 24505,
 SIMILKAMEEN DIV OF YALE LAND DISTRICT,
 PORTION L 59

PID: 009-458-786

7619 Wheatgrass Pl.

**Design
Build**

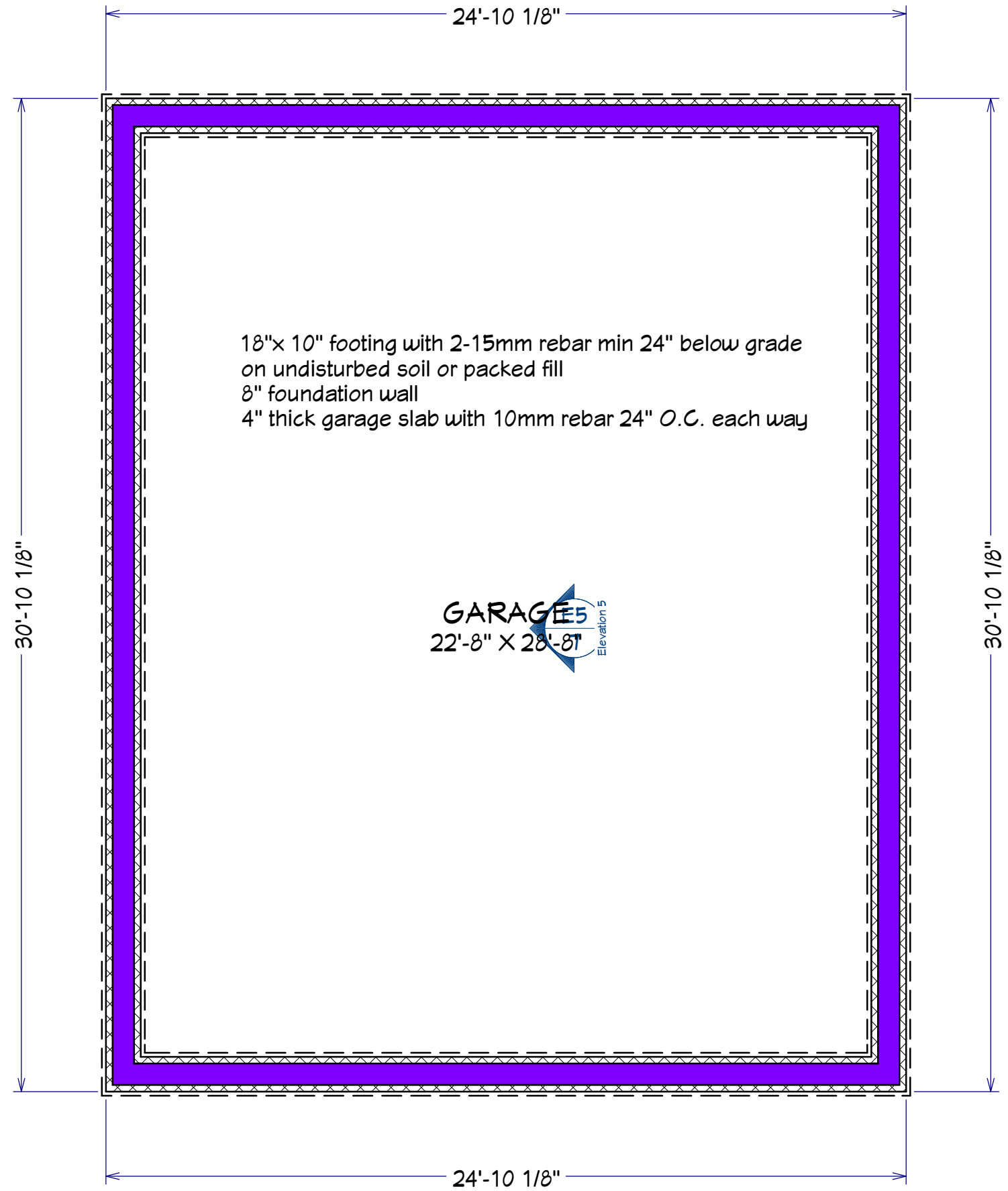
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18" x 10" footing with 2-15mm rebar min 24" below grade
 on undisturbed soil or packed fill
 8" foundation wall
 4" thick garage slab with 10mm rebar 24" O.C. each way

GARAGE E5
 22'-8" X 28'-8"
 Elevation 5

WALL LEGEND

	2x6 Exterior Wall
	2x6 Interior Wall
	2x6 Plumbing Wall
	2x4 Interior Wall
	2x6 Bearing Wall
	ICF Fnd. Wall System

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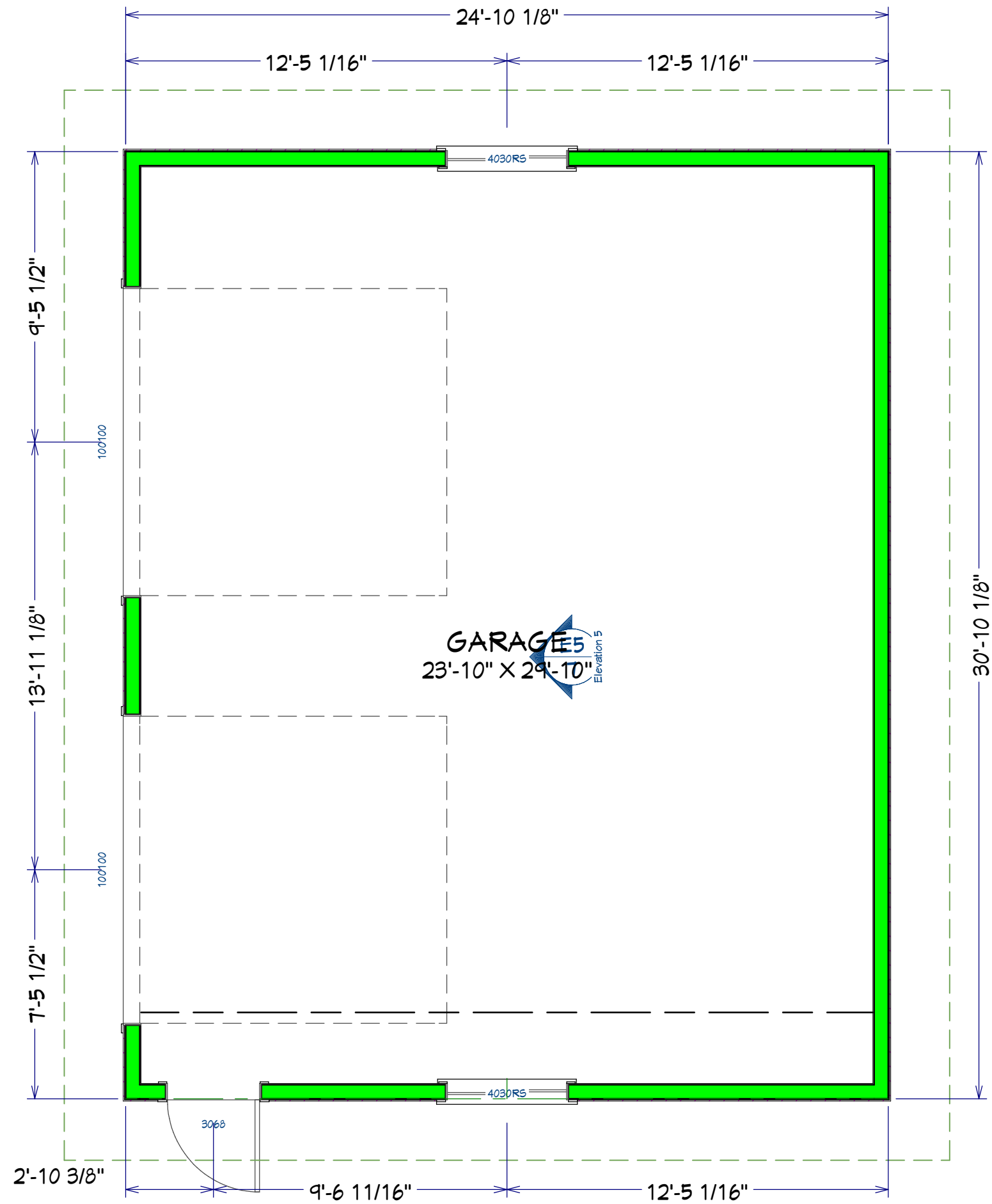
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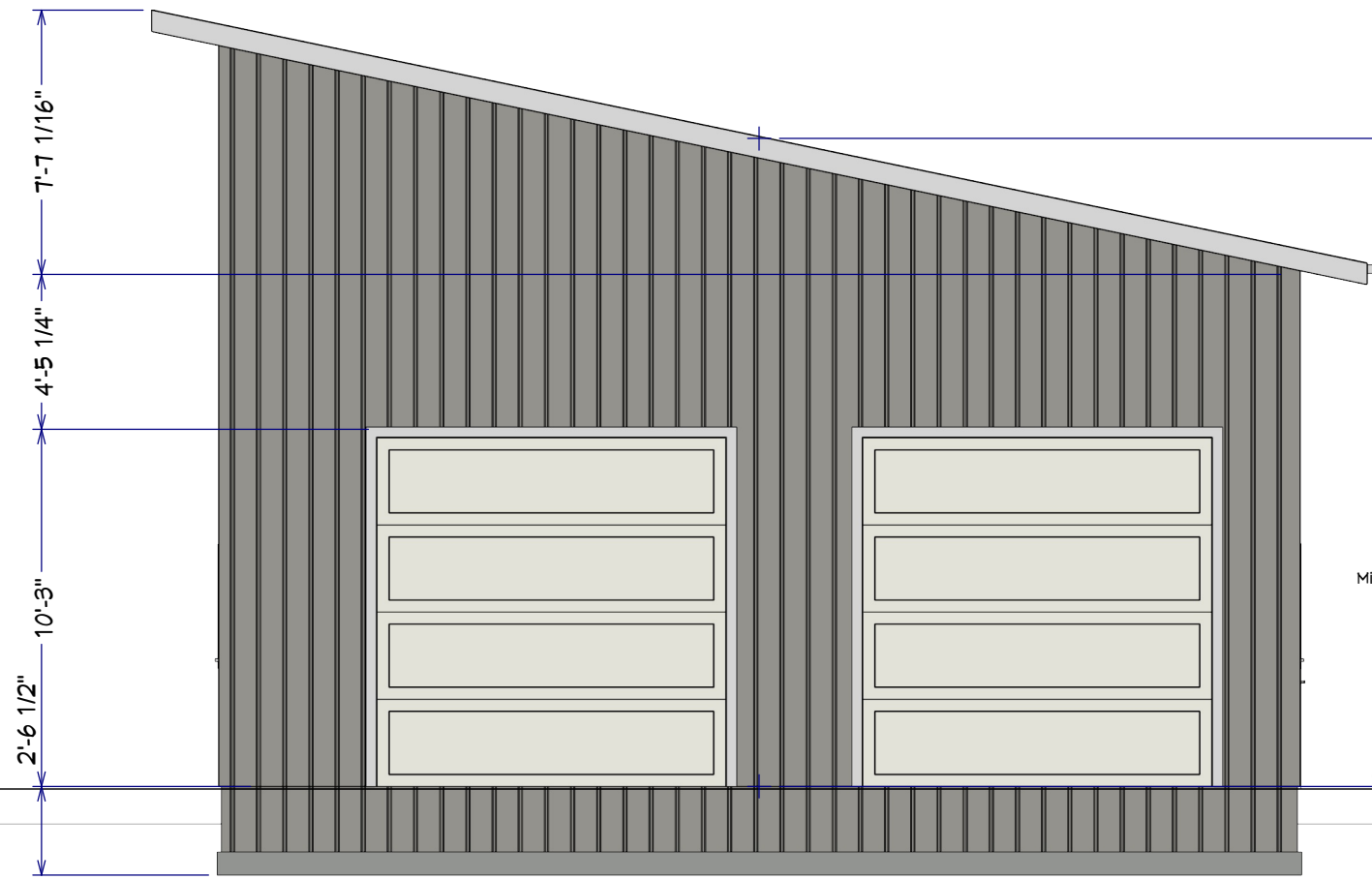
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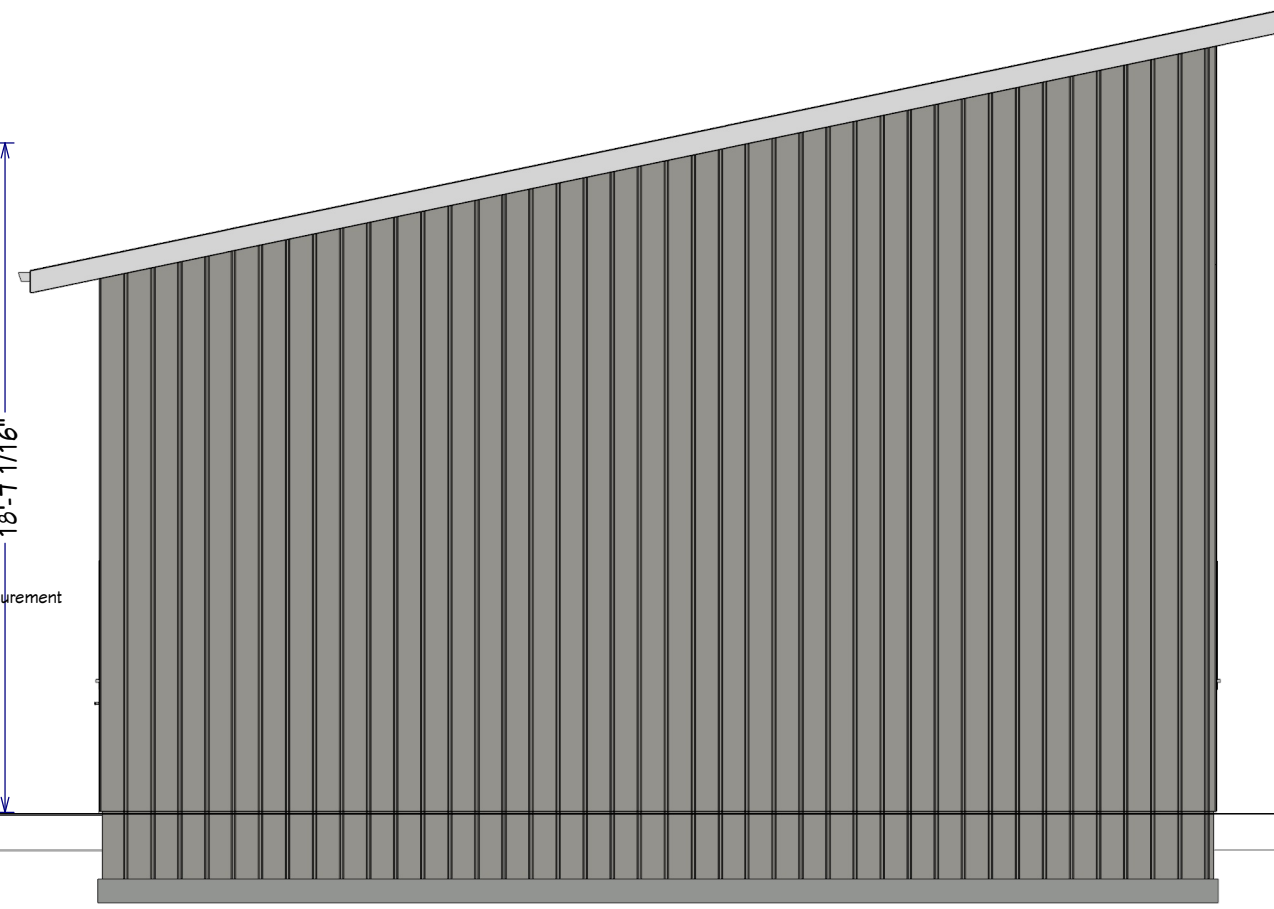
WALL LEGEND

	2x6 Exterior Wall
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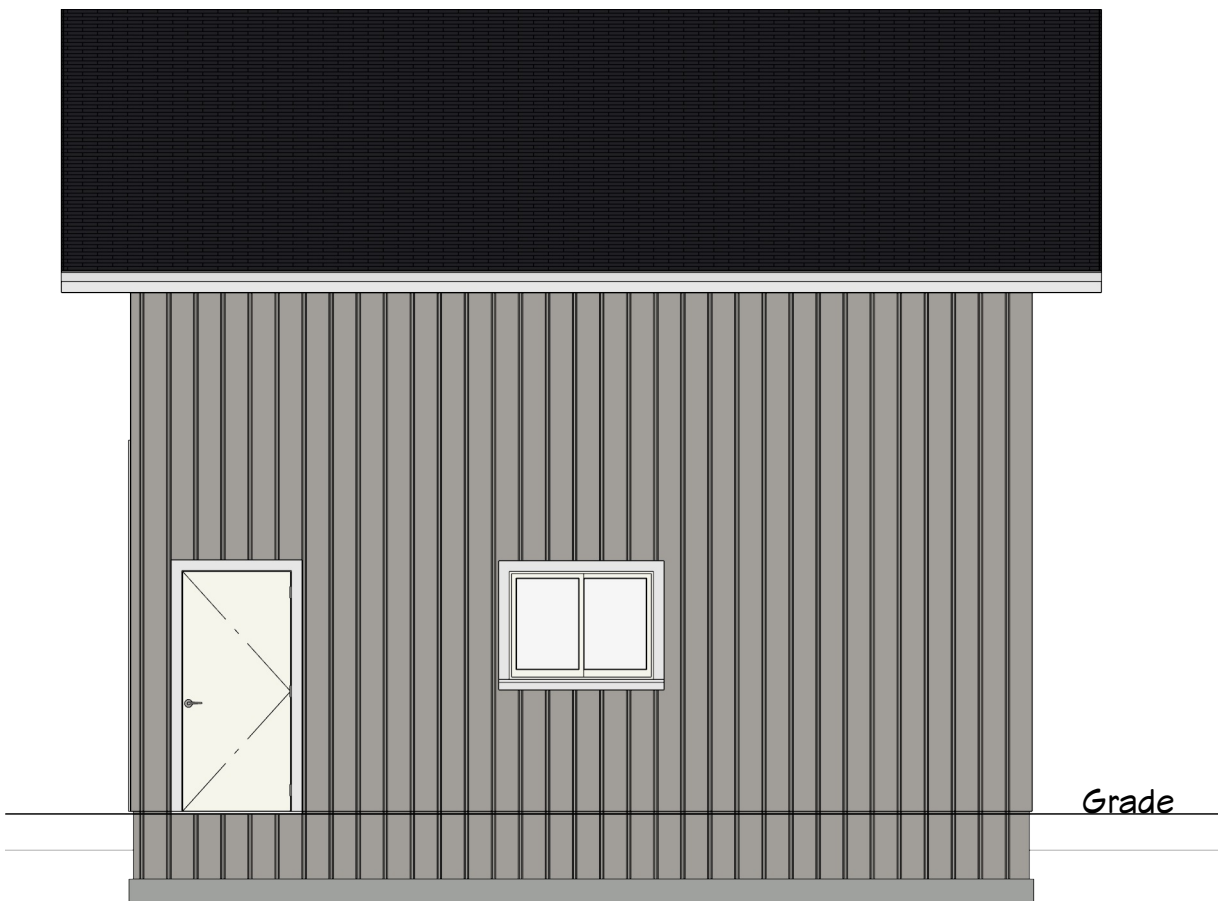
Floor Plan 1/4"=1'



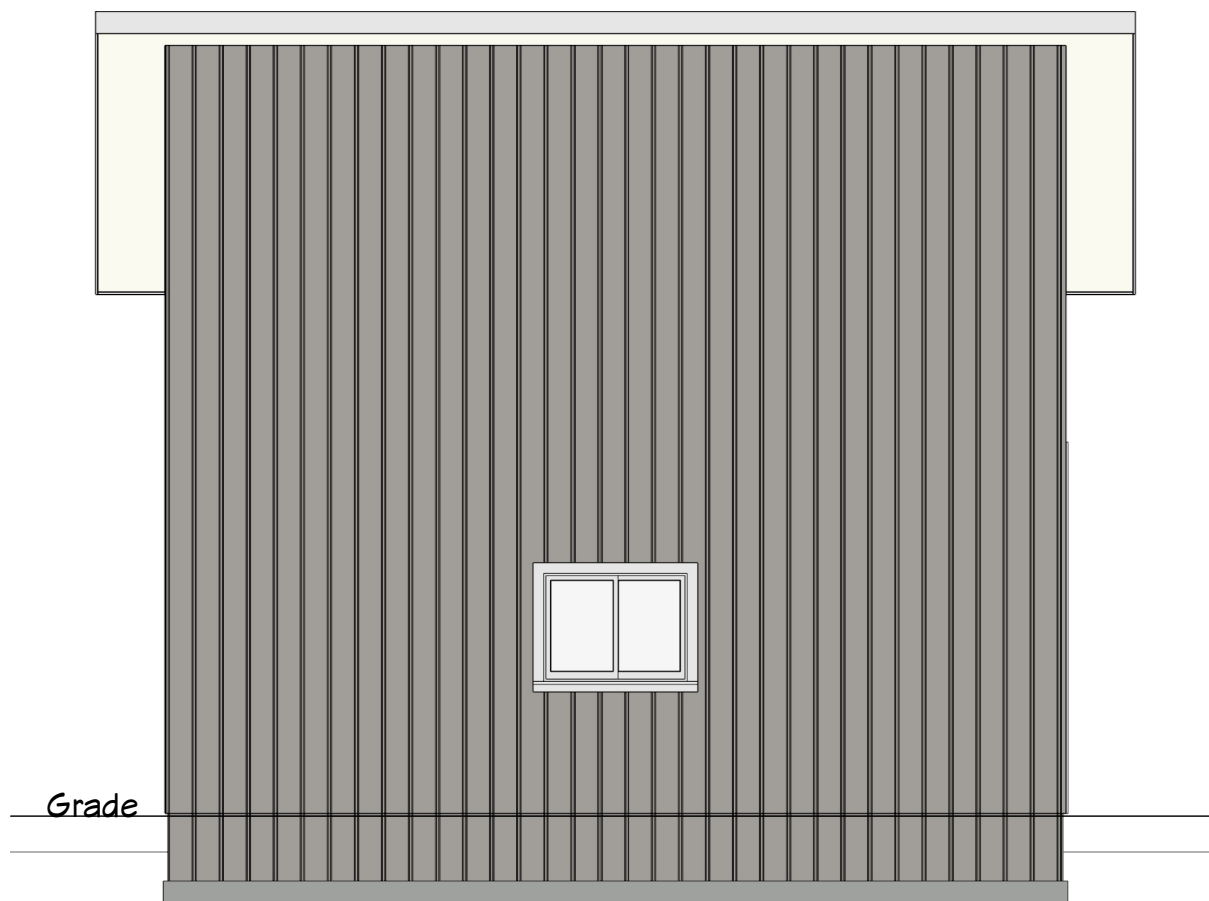
Front



Rear



Left



Right

Elevations 3/16"=1'

7619 Wheatgrass Pl.

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1/ -Roof
 -2/12 slope
 -29 gauge sheet metal -water proof membrain
 -7/16" OSB c/w 'H' Clips
 -Manufactured Trusses @ 24" O.C. (See Truss Manufacturers Spec. Sheets)
 -C/W Ridge venting and vented soffit
 R-28 insulation 6mm poly

2/ -6" ICF wall with 15mm rebar verts @48" O/C & 10 Horizontal rebar @ 16" O/C exterior finish 29 gauge sheet metal

3/ -4" thick 30 mpa slab with C/W 10mm rebar@24" O/C each way
 6mm polly & radon rock under slab optional

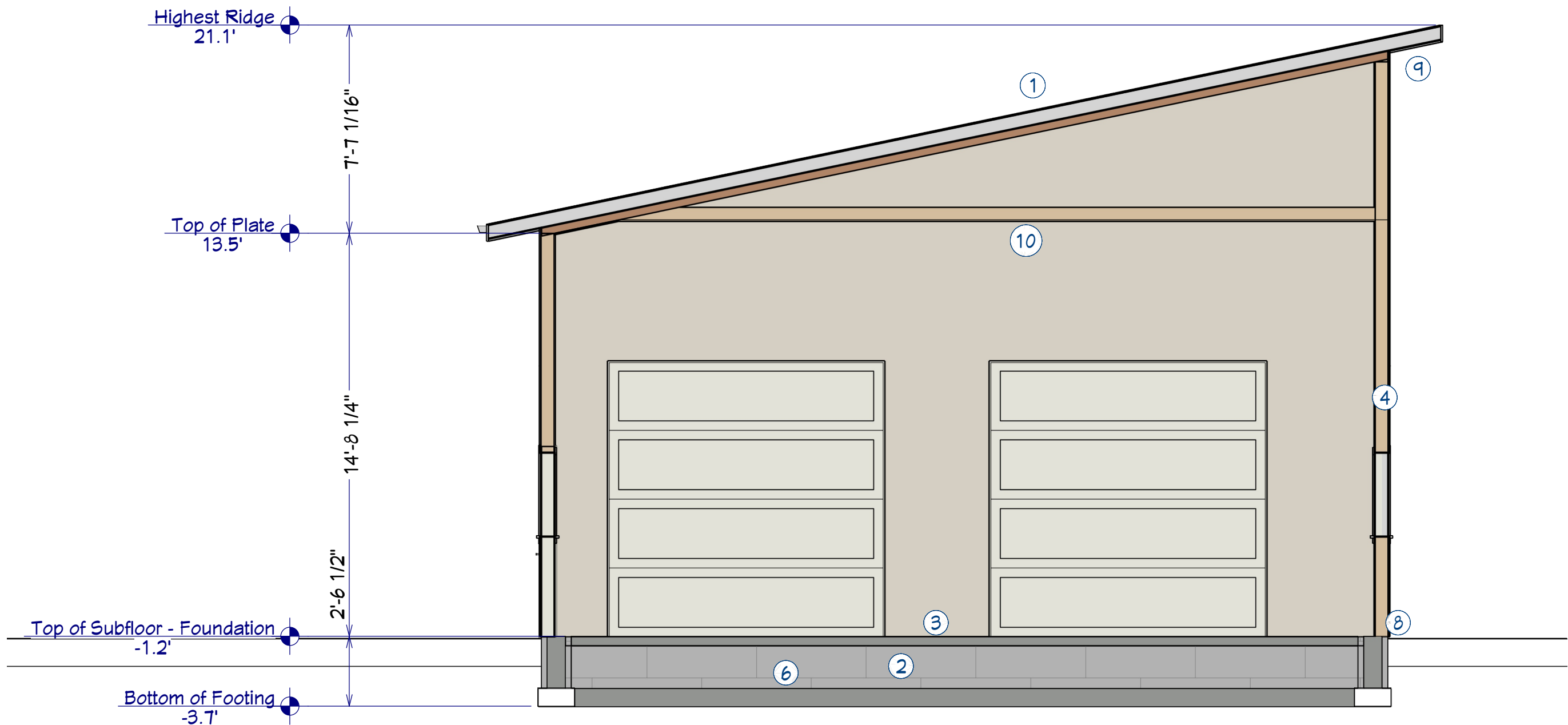
4/ -2x6 exterior wall @24" O/C
 7/16 osb nailed
 building wrap & 29 gauge sheet metal on exterior
 R24 batt insulation
 6mm poly
 interior finish by owner

6/ -Foundation 24"x8" footing with 2-15mm rebar and 15mm verts @48" O/C @24"below grade
 6"or 8" ICF foundation wall with 15mm rebar verts @ 48" O/C &10mm rebar @ 16 horizontal

8/-Sill Plates
 -2x6 plate bolted into foundation
 -with 1/2" diameter anchor bolt @ 8' O.C. max
 -Sill gasket (Continuous)

9/ - FASCIA/SOFFIT
 -Aluminum Gutter and Downspouts
 -Aluminum Fascia or Smartboard
 -2x4 Fascia Board
 -Continuously Vented Aluminum Soffits unless less than 4ft from Property Line (Solid)

10/ - CEILING
 -Insulation Stops @ each truss
 -Insulation
 -6mil U.V. Vapour Barrier
 -1/2" Gypsum Board
 -Ceiling Finish (as per Owner)



Cross Section 1/4"=1'