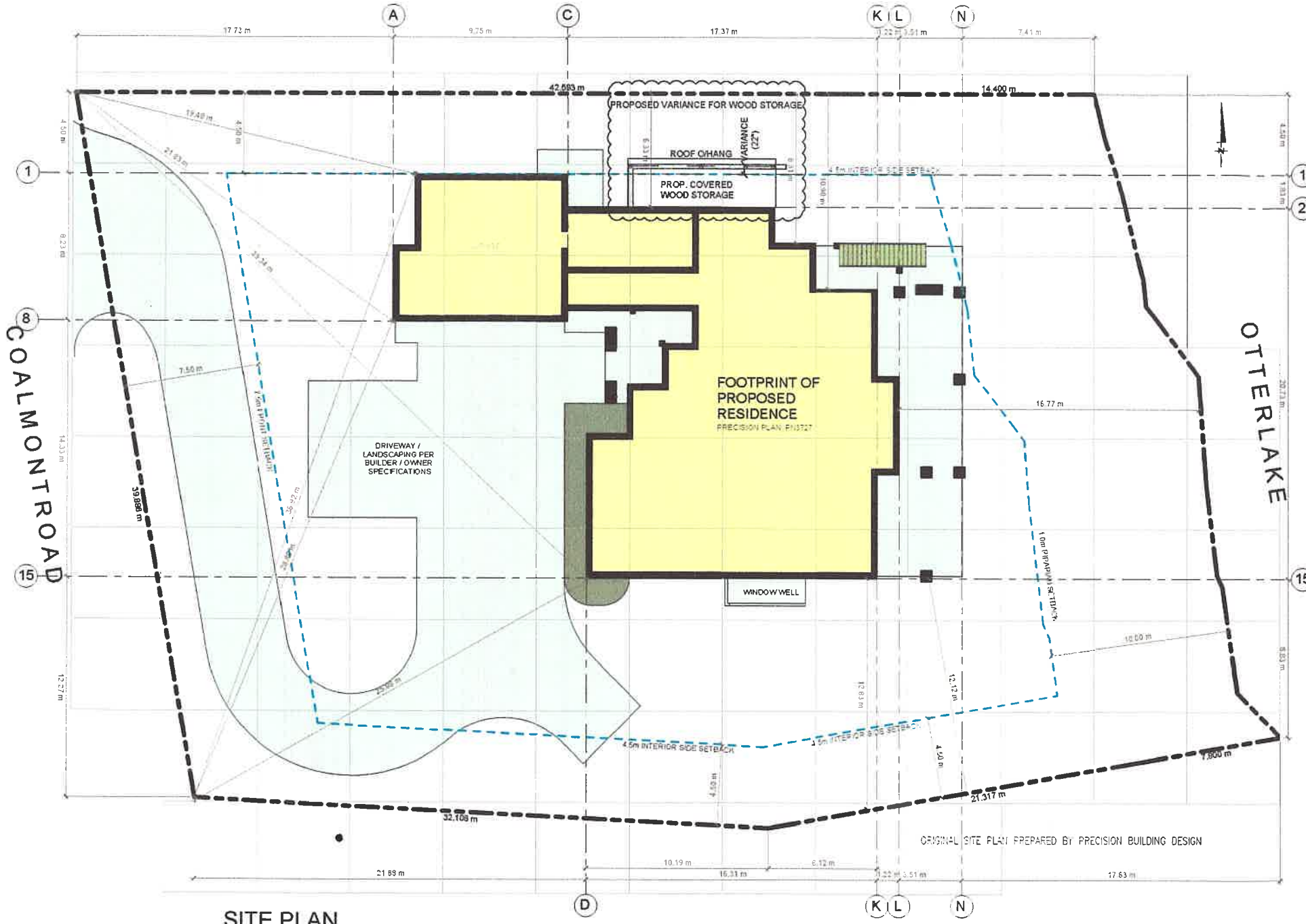


**LIST OF DRAWINGS**

S3.1	GENERAL NOTES
S1.0	FOUNDATION PLAN
S1.1	MAIN FLOOR PLAN
S1.2	UPPER FLOOR PLAN AND DETAILS (NOT USED)
S2	(NOT USED)
S3	WOOD SHED RETAINING WALL
S4	VARIANCE SITE PLAN



**SITE PLAN**  
1:125

LEGAL DESCRIPTION: LOT 1 KAP57408 DL740 YDYD

ZONING ANALYSIS (SH3)				
PROPERTY DESCRIPTION				
SMALL RESIDENTIAL ZONE				
PROPERTY USE				
SINGLE FAMILY DWELLING				
LOT SIZE				
LOT AREA (sq m)	PROP. AREA (sq m)	MIN. 2000		
LOT DIMENSIONS				
LOT WIDTH (m)	PROP. 30.88	MIN. 12.25		
LOT DEPTH (m)	PROP. 10.4	MIN. 10.4		
DENSITY				
PROP. 1.8%				MAX. 18%
BELOW COVERAGE				
LOT COVERAGE (%)	PROP. 18.0%	MAX. 25.0%		
FLOOR AREA RATIO				
PROP. 1.04	MAX. 1.04			
SETBACKS				
FRONT SETBACK (m)	PROP. 1.6	MIN. 1.5		
REAR SETBACK (m)	PROP. 2	MIN. 1		
SIDE SETBACK (m)	PROP. 2.5	MIN. 2.5		
RAILWAY SETBACK (m)	PROP. 1.4	MIN. 2.4		
TRANSVERSE SETBACK (m)	PROP. 1.4	MIN. 1.4		
SUPPLEMENTARY SETBACK (m)	PROP. 1.4	MIN. 1.4		
WATER COURSE (m)	PROP. 1.2	MIN. 1.2		
SETBACKS				
FRONT	PROP. 1.6	MIN. 1.5		
REAR	PROP. 2	MIN. 1		
SIDE	PROP. 2.5	MIN. 2.5		
RAILWAY	PROP. 1.4	MIN. 2.4		
TRANSVERSE	PROP. 1.4	MIN. 1.4		
SUPPLEMENTARY	PROP. 1.4	MIN. 1.4		
WATER COURSE	PROP. 1.2	MIN. 1.2		
HEIGHTS				
MAX. BUILDING HEIGHT	PROP. 3.4	MAX. 12		
MAX. SIGN HEIGHT	PROP. 3.4	MAX. 12		
LOADING				
OFF STREET UNLOADING	PROP. 1.4	MIN. 1.4		
OFF STREET LOADING	PROP. 1.4	MIN. 1.4		
ADDITIONAL				
MIN. FENCE HEIGHT	PROP. 1.4	MIN. 1.4		
MIN. FENCE LENGTH	PROP. 1.4	MIN. 1.4		
SPECIAL REQUIREMENTS				
PROP. 1.4	MIN. 1.4			
SPECIAL REQUIREMENTS				
PROP. 1.4	MIN. 1.4			
SPECIAL REQUIREMENTS				
PROP. 1.4	MIN. 1.4			
SPECIAL REQUIREMENTS				
PROP. 1.4	MIN. 1.4			
SPECIAL REQUIREMENTS				
PROP. 1.4	MIN. 1.4			

**VARIANCE REQUESTS**

\*WOOD STORAGE AREA NORTH SIDE - FEB 2022

**DAVIES ENGINEERING LTD.**  
213 - 1127 WESTMINSTER AVE. W.  
VANCOUVER, BC V6A 1L4 250.450.7112

PROJECT:  
**NEW RESIDENCE  
WOOD SHED RETG WALL - SITE PLAN  
3313 COALMONT ROAD  
TULAMEEN, BC**

CLIENT:  
**TONY & KATHY ELLIS**

SCALE:  
**AS SHOWN**

DATE:  
**FEBRUARY 28, 2022**

DESIGN BY:  
**KAD**

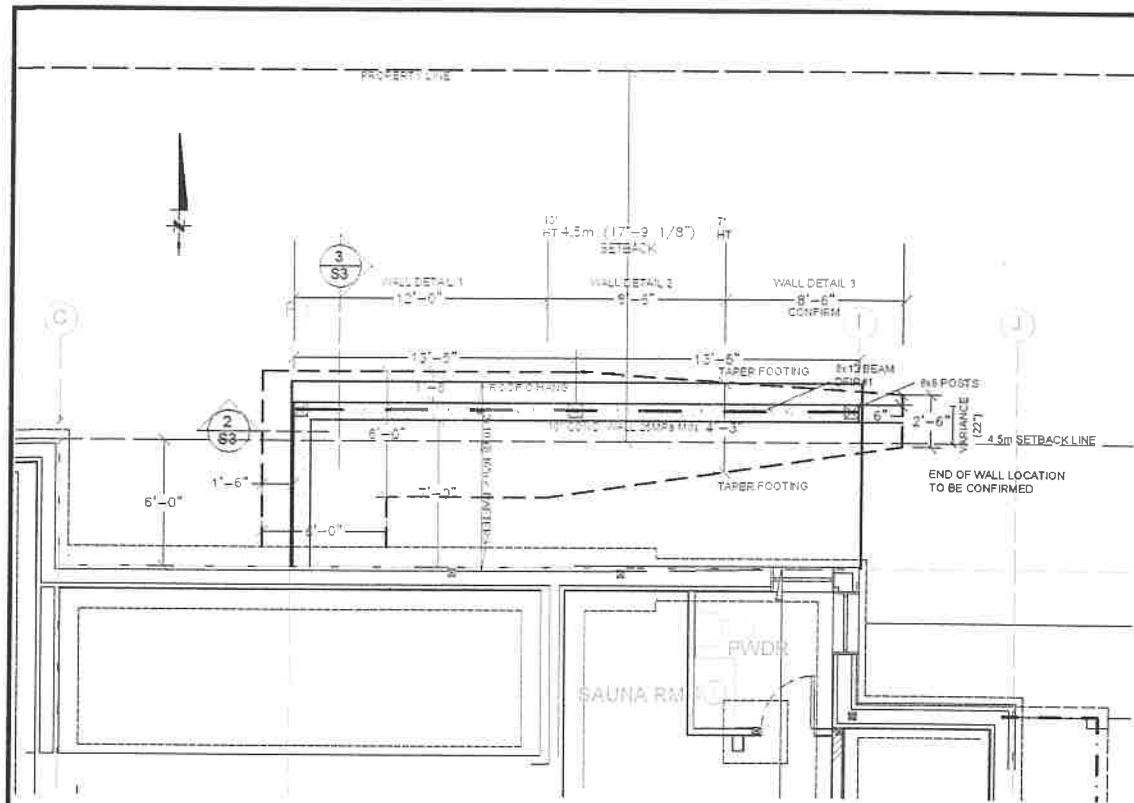
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**KAD**

DRAWN BY:  
**KAD**

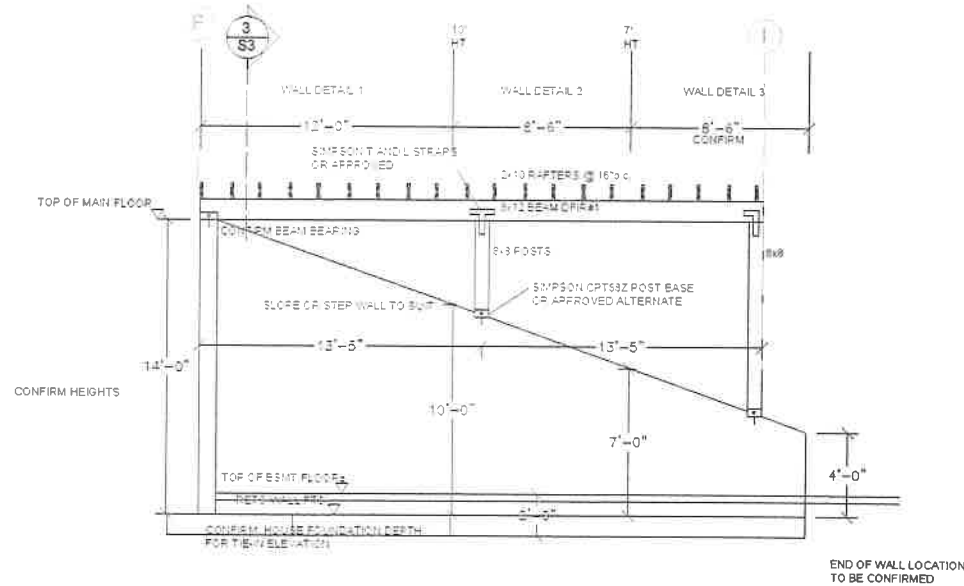
PROJECT NO.:  
**20-036**

DRAWING NO.:  
**S4** SHEET NO.:  
**8 OF 6**  
REV: **a**

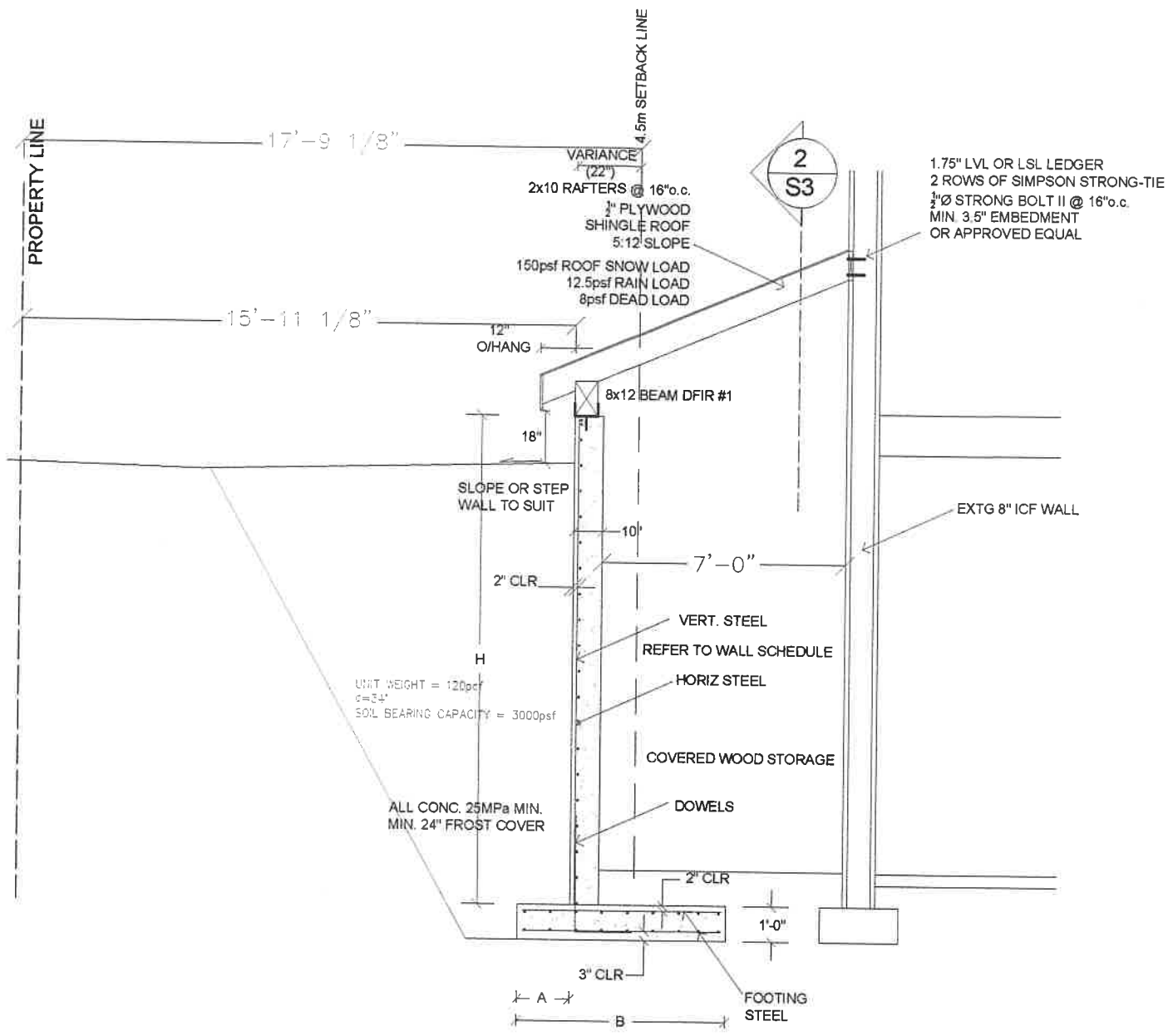
ORIGINAL SITE PLAN PREPARED BY PRECISION BUILDING DESIGN



**1 RETAINING WALL PLAN**  
S3 SCALE 1/4"=1'0"



**2 SECTION**  
S3 SCALE 1/4"=1'0"



**3 RETAINING WALL SECTION**  
S3 SCALE 1/2"=1'0"

RETAINING WALL SCHEDULE (REFER TO PLAN AND ELEVATION)

WALL DETAIL MAX. H	A	B	DOWELS	VERT STEEL	HORIZ STEEL	FOOTING STEEL
1 (MAX. 14')	18"	72"	20M @ 9" o.c. 32" LAP	15M @ 9" o.c.	15M @ 12" o.c.	15M @ 9" o.c. e/w T&B
2 (MAX. 10')	TAPER 18" - 12"	TAPER 6' - 43"	15M @ 12" o.c. 24" LAP	15M @ 12" o.c.	15M @ 12" o.c.	15M @ 12" o.c. e/w T&B
3 (MAX. 7')	TAPER 12" - 6"	TAPER 43" - 26"	15M @ 18" o.c. 24" LAP	15M @ 18" o.c.	15M @ 12" o.c.	15M @ 18" o.c.

LIST OF DRAWINGS

S0.1	GENERAL NOTES
S1.0	FOUNDATION PLAN
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S2	(NOT USED)
S3	WOOD SHED RETAINING WALL

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# 10/27/2022 (AD) FOR VARIANCE PERMIT  
NO. DATE ENGINEER DESCRIPTION



**DAVIES ENGINEERING LTD.**  
213 - 1127 WESTMANSTER AVE. W.  
PENTICTON, B.C. V2A 2L4 250.450.7112  
PERMIT #1005230

PROJECT: NEW RESIDENCE  
WOOD SHED RETG WALL  
3313 COALMONT ROAD  
TULAMEEN, BC

CLIENT: TONY & KATHY ELLIS

SCALE: AS SHOWN

DATE: FEBRUARY 23, 2022

DESIGN BY: KAD

CHECKED BY: KAD

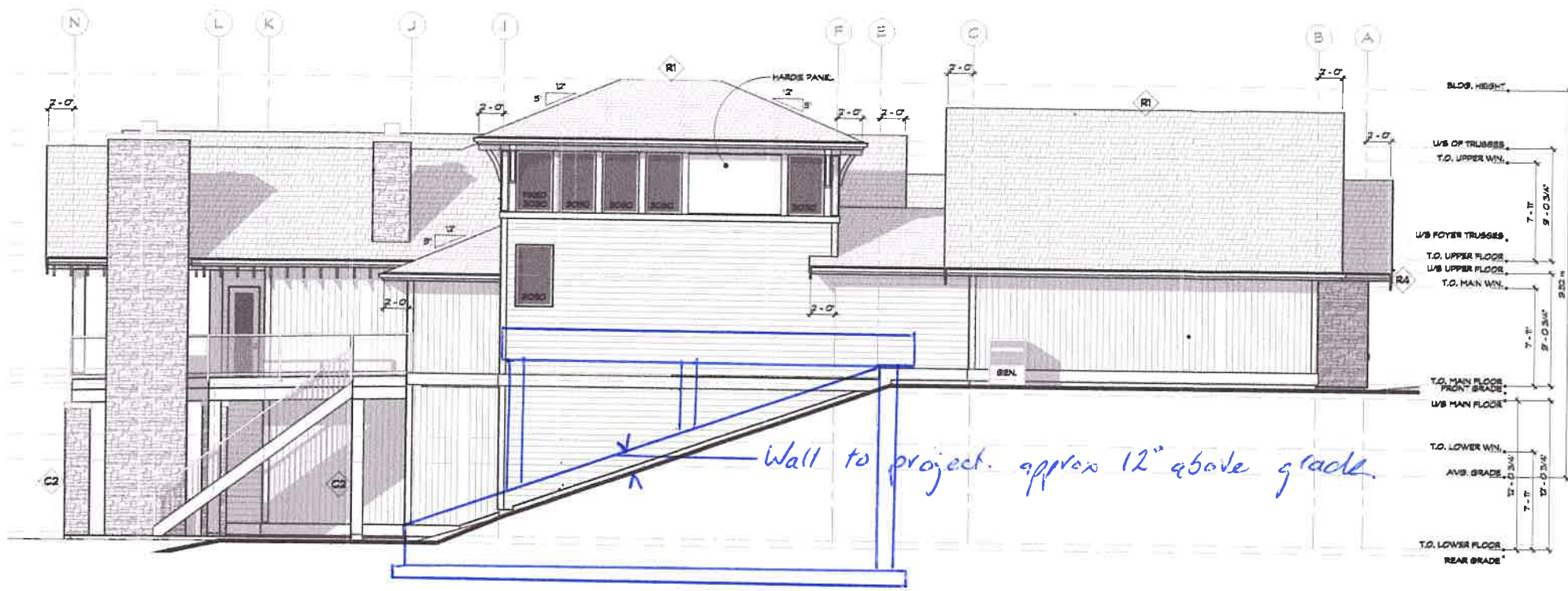
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PROJECT NO.: 20-036

DRAWING NO.: SHEET NO.: 5 OF 5  
REV.: a

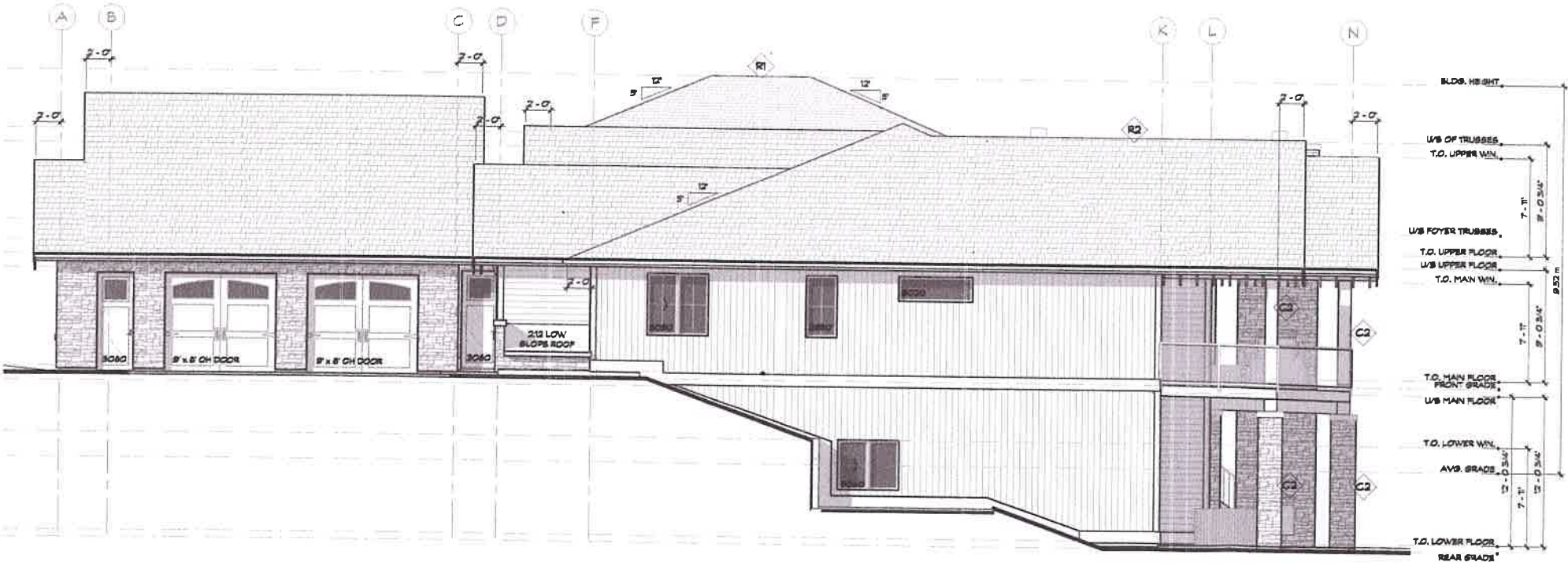
S3

U.P.O. (LH SIDE)	
LIMITING DISTANCE (m)	8.33
WALL AREA (m <sup>2</sup> )	75.11
TOTAL WALL AREA (m <sup>2</sup> )	151.88
U.P.O. ALLOWED (m)	13.39
U.P.O. PROPOSED (m)	20.49
(%)	9.75
(%)	13.98



LH SIDE ELEVATION  
 3/16" = 1'-0"

U.P.O. (RH SIDE)	
LIMITING DISTANCE (m)	12.83
WALL AREA (m <sup>2</sup> )	72.65
TOTAL WALL AREA (m <sup>2</sup> )	19.83
U.P.O. ALLOWED (m)	48.34
U.P.O. PROPOSED (m)	7.43
(%)	15.37
(%)	10.23



RH SIDE ELEVATION  
 3/16" = 1'-0"