

GENERAL CONSTRUCTION NOTES

General Compliance
 All work shall conform to the current BC Building Code Parts 9 & 10 (2018 [or later if applicable]), the BC Fire Code (2018 [or later if applicable]), the BC Plumbing Code (2018 [or later if applicable]) and all local building and zoning bylaws.

All work shall be performed in such a manner so as to meet or exceed current best practices within the residential construction industry. In the case of any discrepancy, written dimensions shall take precedence over any scaling from drawings.

Any variance from these drawings and specifications, and/or adjustments required resulting from conditions encountered at the job site are the sole responsibility of the Owner and/or Builder.

Building Permits and Home Owner Protection Warranty
 Under no circumstances is work to commence until a building permit has been obtained. It is the responsibility of the owner to obtain all the appropriate building permits and approvals from the respective authorities.

General Construction Criteria
 Unless otherwise specified all dimensional lumber is Spruce/Pine/Fir #2 or better. Concrete foundations and slabs-on-grade have a minimum compressive strength of 20 MPa at 28 days.

Garage, carport and patio slabs, as well as exterior steps, have a minimum compressive strength of 32 MPa at 28 days. Roof loads (ground snow load) are dependent on location and/or elevation. These plans are designed to meet the criteria of the specific location identified by the client.

Minimum footing depth for frost protection also varies from location and/or elevation. Residential floor loads are designed for a minimum 1.9 kPa (maximum 2.4 kPa). Residential decks are designed for a minimum of 1.9 kPa or Snow Load, whichever is greater.

Reinforcing Steel:
 In footings shall be placed 3" above base. In walls and columns 1/2" beyond the inside face of form-work. In Floor Slabs shall be placed in the center of slab.

Engineering and Structural Design
 Some designs may require the use of beam sizes, and / or materials, framing details, foundation sizes, etc. that are not specified within the current BC Building Code and thus the applicable building authority may require confirmation of these plans by a certified Structural Engineer. In some cases, the ground snow load may exceed the design limits of the BC Building Code. In these instances, a certified Structural Engineer may be required to design and / or approve all foundation details, supporting wall structures, trusses, etc.

In all cases, unless a cut members roof is employed, trusses will need to be designed by a certified truss manufacturing plant. Gecko Flats design will supply said manufacture with all the details required to complete this process, including roof drawings that demonstrate the required finished details and look. All costs for structural engineering are the responsibility of the owner or builder. Gecko Flats Design will inform the client of these requirements as soon as they become evident.

Dimensions

Exterior dimensions are from the outside face of exterior wall sheathing to the outside face of adjacent exterior wall sheathing.

Exterior dimensions notating interior wall are from the outside face of exterior wall sheathing to the stud edge of the interior wall.

Door and window dimensions are from the exterior wall sheathing to the edge of the framing. Unless otherwise noted, the sheathing face of the exterior stud is assumed to be flush with the concrete foundation.

Interior dimensions are from the inside stud face to inside stud face unless otherwise indicated.

Written dimensions and notes shall take precedence over scaled dimensions.

Excavation, Foundation, and Backfilling
 The excavation shall extend to a depth free of all organic and/or unsuitable materials.

The excavated area shall be kept free from standing water. Foundations shall be concrete on solid undisturbed bearing soil. Bottom of all exterior footings and pads must be at the specified depth below grade for this region for frost protection.

Foundation walls shall not be backfilled until concrete has reached its specified 28-day strength or until it is adequately braced subject to the approving authority.

Grades shown on plans are estimated. Foundation wall heights may require adjustments to suit site conditions.

All concrete, masonry and ICF foundation walls exceeding height limits specified by the current BC Building Code require Engineering. Perimeter drainage shall be installed where required by the approving authorities.

Backfill materials shall consist of granular material compacted to 98% Standard Dry Proctor.

All backfilling shall be carried out in a manner that prevents damage to the foundation, damp proofing membrane and/or any drain tile.

Wood Framing

Unless otherwise specified all dimensional lumber is Spruce/Pine/Fir #2 or better.

All floor sheathing is min. 5/8" T & G Plywood unless otherwise noted. All roof sheathing is min. 7/16" OSB unless otherwise noted.

All exterior wall sheathing is 7/16" OSB unless otherwise noted. Joists shall be doubled under parallel partitions over 6'-0" long. Joists shall be placed to accommodate plumbing, heating, etc. Pay particular attention to toilet locations.

All Lintels, Headers and Beams shall be engineered Paralam PSL 2.0E unless noted otherwise. Provide manufacturers specification sheets at time of inspection. Provide manufacturers specification sheets for engineered floor systems and engineered roof trusses at time of inspection.

Electrical and Heating
 Little to no Electrical or Heating is indicated on these plans. Electrical work requires a separate Permit and Inspections. Gas connections require a separate Permit and Inspections.

Installation of all electrical items must comply with local electrical codes and regulations and with the local electric power supplier's regulations in all aspects.

Installation of entire heating systems, whether electric, forced warm air, or hot water, must comply with manufacturers directions and conform to local codes and regulations in all aspects (9.32 - 9.36).

Fuel burning appliances, including furnaces, fireplaces and stoves to be provided with outside combustion air. All fuel burning appliances must be installed &/or inspected by a certified WETT installer.

Doors
 All doors must meet N.A.F.S. & 2018 BCBC (labels must remain in place). Exterior doors shall be solid core and weather-stripped. Garage doors to dwelling units to be solid core, weather-stripped and self-closing.

Sliding Glass doors shall have safety glass. Door sizes are shown by width x height; e.g. 2668 is 2' - 6" x 6' - 8". Openings in partitions shown without doors are 60" in height unless otherwise noted. Headers are to be built per notations.

Windows
 All windows must meet N.A.F.S. & 2018 BCBC (labels must remain in place). Window opening style and notation is suggested only. The Owner/builder may substitute opening styles at their discretion. As an example, a right-sliding window can be replaced with a single casement window. When a window is substituted it is the responsibility of the builder to ensure that appropriate adjustments are made to the window's header. All bedroom windows must continue to meet BCBC egress requirements.

Each bedroom shall have at least one outside window or exterior door operable from the inside without the use of keys, tools or special knowledge. This window shall provide an unobstructed opening of not less than 3.76sf (0.35 sq. m), in area with no dimension less than 15" (380mm).

Window sizes are shown by width x height; e.g. 6040 is 6' - 0" x 4' - 0". Where custom door and/or window sizes are to be employed within the project, the framer is to be supplied with a set of door and window drawings, supplied by the door / window supplier, prior to starting the framing process.

Trusses, Floor Joists, & Headers
 All trusses are to be designed by a qualified manufacturer. Engineered lumber floor joists are to be specified by the supplier. Engineered headers are to be specified by the supplier. In the forgoing cases, the supplier is to furnish drawings and specifications that shall become an integral portion of these plans and override the specifications made by Gecko Flats Design.

Finishing
 The Owner shall specify all interior and exterior finishing. Any finishing shown on the plans are to be confirmed by the Owner. Unless otherwise noted all clothes closets have a finished depth of 24".

Gas / Wood Burning Appliances

All gas and wood burning appliances are to be installed by a certified WETT installer. New addenda to the BCBC (9.36) came into effect on Dec. 2014 governing energy and ventilation. These changes were very significant. Make sure you are familiar with these.

Energy and Water Efficiency
 Construction Must Comply With BCBC 9.36 2018 For Energy Efficiency. The flow rates of fittings that supply water to plumbing fixtures must not exceed the maximum flow rates specified on Table 10.3.1.1.

The flush cycle for the installation of a water closet or urinal must not exceed the flush cycle listed for that fixture in Table 10.3.1.2.

6-mil poly vapour barrier with a UV protection shall be installed on the warm side of insulation. Ceiling insulation may be loose fill type or batt type unless otherwise noted.

Wall and wood floor insulation shall be batt type unless otherwise noted. Construction shall provide baffle for air space (equal to soffit venting) between the insulation and roof sheathing at the exterior wall line.

Walls and ceilings between residence and attached garage or carport shall be insulated. All roof or attic spaces shall be ventilated with soffit, roof or gable vents, or a combination of these.

Attics or roof spaces to be vented a minimum 1/300 of area. Unheated crawlspaces to be vented a minimum of 1/500 of area. Vents shall be uniformly distributed on opposite sides of the building, and designed to prevent the entry of snow, rain and insects.

Renovations and Additions
 Renovations and additions to older homes, particularly those that were built to older or no insulation standards, and / or that did not use engineered roof trusses, will require additional detail and may require structural engineering. These costs are the responsibility of the owner. Additions in many rural areas require certification that the existing sewage disposal system will be able to handle any increased capacity due to the addition. This is the responsibility of the owner.

Always re-measure the area of construction, and roof slopes prior to commencing any construction and / or ordering materials (particularly roof trusses).

Errors and Omissions
 Gecko Flats Design makes every effort to provide complete and accurate building plans. However, we assume no liability for any errors or omissions that may affect construction. It is the responsibility of the builder to check and verify all dimensions and details before proceeding with excavation and construction.

Should any discrepancies be found on these plans, please advise us at your earliest convenience. We will make corrections to the drawings and replace any plans if necessary.

In this way we can better serve you and prevent errors from recurring.

Site Plan Notes

The Owner and/or Builder are responsible for the correct siting of this building on the property. Gecko Flats Design strongly recommends using a registered land surveyor to ensure the building is sited correctly and within all legal setbacks.

Highways Access, driveways, potable water wells, and septic disposal systems are to be located and constructed in accordance with local governing bodies.

Site Grading
 The site shall be graded to ensure surface water is directed away from the building.

Riparian, Floodplain, and Drainage Issues
 It is the owner's sole responsibility to determine if the building location will conflict with any riparian and/or floodplain regulations. All costs associated with riparian and/or floodplain issues are the sole responsibility of the owner.

Copyright
 These plans are the intellectual property of Gecko Flats Design. All rights are reserved. The owner / builder is allowed to make as many copies of these drawings as are reasonably required to complete the project. These drawings cover the construction of one and one only structure as herein specified.

Index of Drawings

1) Project Overview	2) Exterior Elevations
3) Foundation Plan	4) Floor Plans
5) Cross Sections / Construction Details	6) Site Plan

Climatic Data for RDOS

Location	Elevation	Design Temperature	Design Snow	Design Wind	Design Rain	Design Snowmelt	Design Rainmelt	Design Windmelt	Design Snowmelt
Prince George	800 m	-28	15	18	250	40	200	10	1500
Fort St. John	1000 m	-30	15	18	250	40	200	10	1500
1000m (FT)	1000 m	-28	15	18	250	40	200	10	1500
1200m (FT)	1200 m	-26	15	18	250	40	200	10	1500

Climate zones:
 Zone 6: 1000 to 1200 ft
 Zone 5: 800 to 1000 ft
 Zone 7A: 1000 to 1200 ft

NOTE: For areas and/or elevations not specifically mentioned in Schedule A, the Ground Snow Load shall be determined by the Building Official. Climate zones: Zone 6: 1000 to 1200 ft, Zone 5: 800 to 1000 ft, Zone 7A: 1000 to 1200 ft.

The General Contractor / Builder bears final responsibility to verify that the details in these plans meet the current requirements of the local building code and that the structure is built to meet that code. The General Contractor / Builder also bears final responsibility that any renovation or addition construction melds correctly with any existing structures.



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Project Overview

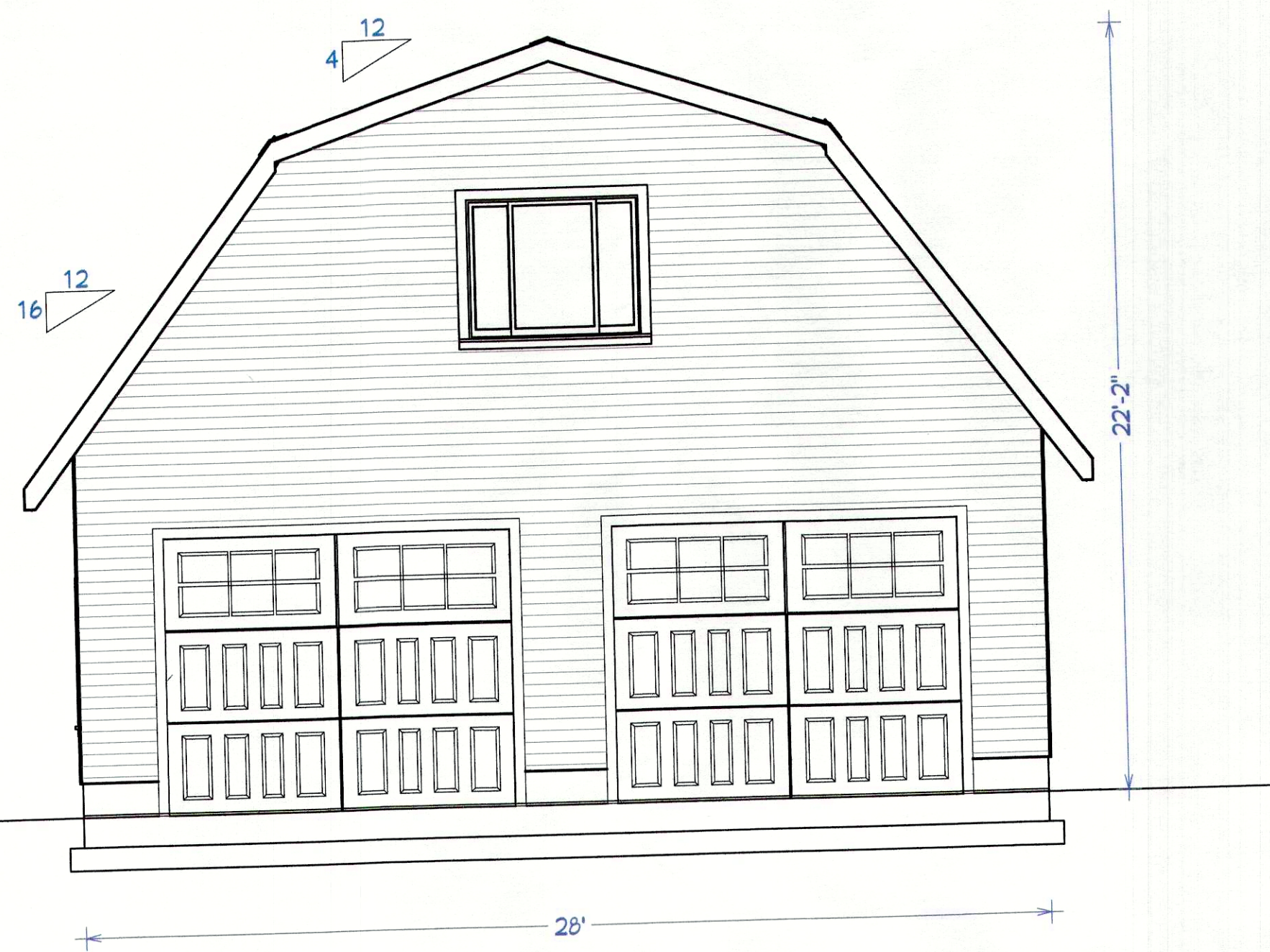
PROJECT DESCRIPTION:
 2628 Nicola Ave., Tulameen B.C.
 Legal Description: Parcel A, Block 17, District Lot 128, 2628 Nicola Ave., Tulameen B.C.
 TOWNSITE
 PID: 023-041-935

DRAWINGS PROVIDED BY:
 Gecko Flats Design
 PO Box 681
 Princeton, BC Canada V0X 1W0
 Phone: 250-295-0351
 Email: service@geckoflatdesign.com

DATE:
 15/Oct/21

SCALE:
 1/4" = 1'

SHEET:
 1



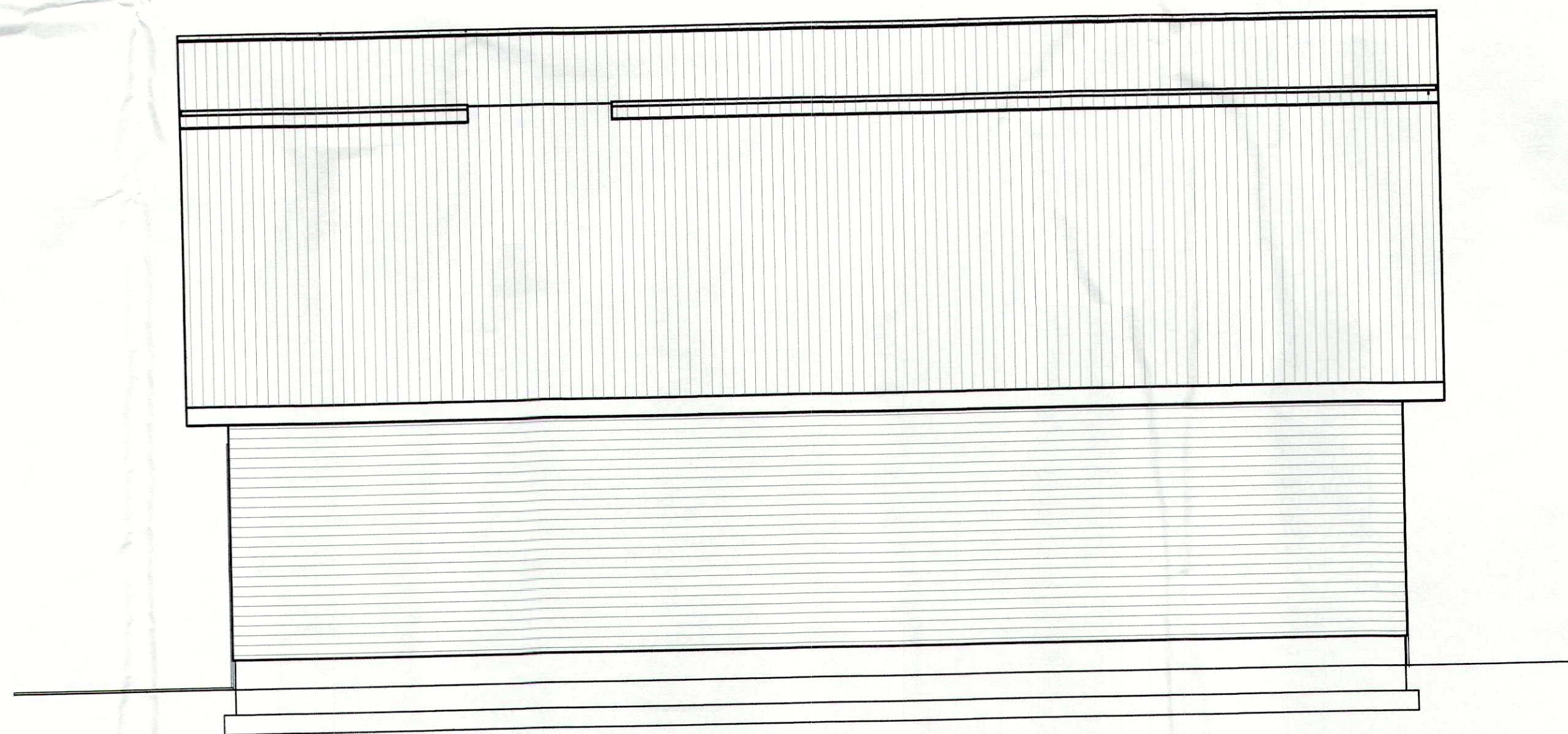
Front Exterior Elevation



Left Exterior Elevation



Rear Exterior Elevation



Right Exterior Elevation



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Exterior Elevations

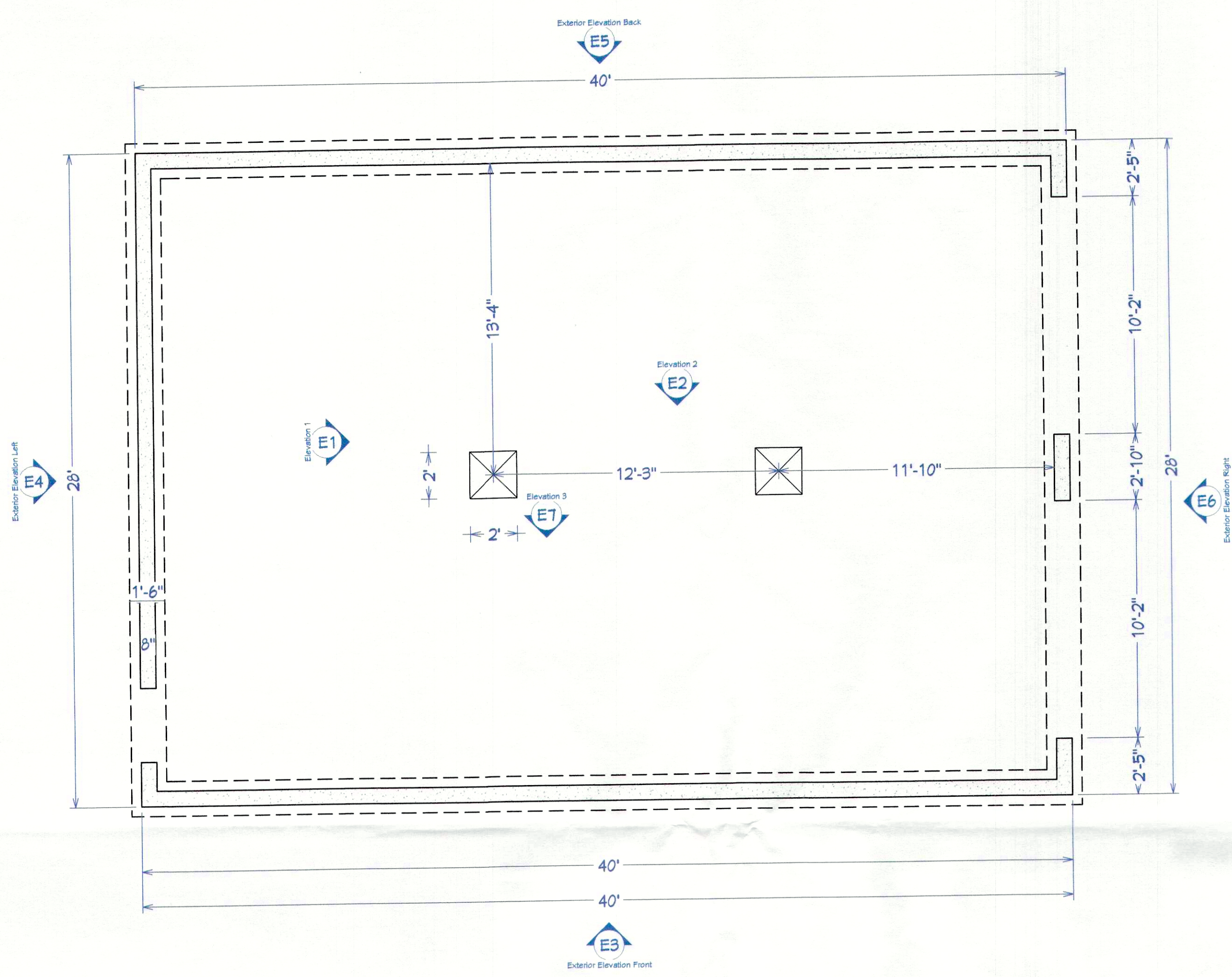
PROJECT DESCRIPTION:
John McIntosh
2620 Nicola Ave., Tulummen B.C.
Legal Description: Parcel A, Block 17, District Lot 138,
Yale Div. of Yale Land District, Portion (K30021), TULAMMEN
TOWNSHIP
PID: 023-041-925

DRAWINGS PROVIDED BY:
Gecko Flats Design
PO Box 681
Princeton, BC Canada V0X 1W0
Phone: 250-295-0251
Email: sam@geckoflatsdesign.com

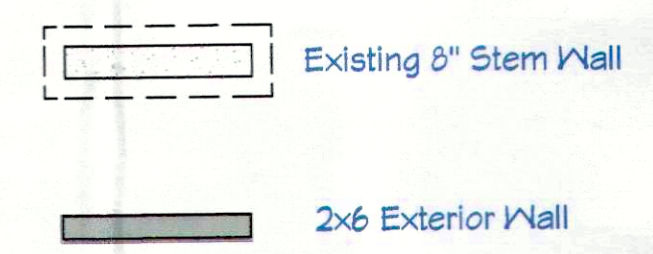
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15/Oct/21

SCALE:
1/4" = 1'

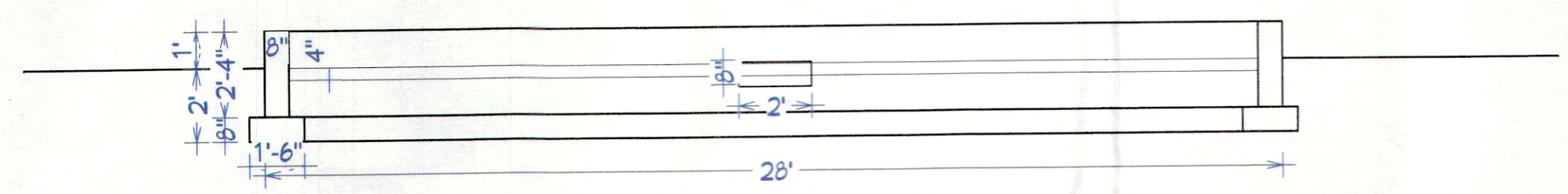
SHEET:
2



Wall Type Legend



Foundation



Foundation Cross Section

GENERAL CONSTRUCTION NOTES

Foundation Construction Criteria

Minimum footing depth for frost protection varies from location and/or elevation. See the cross section drawing for foundation heights.

Concrete foundations and slabs-on-grade have a minimum compressive strength of 20 mpa at 28 days.

Garage, carport and patio slabs, as well as exterior steps, have a minimum compressive strength of 32 mpa at 28 days.

Reinforcing Steel:

- In footings shall be placed 3" above base
- In walls and columns 1 1/2" beyond the inside face of form-work.
- In floor slabs shall be placed in the center of slab.

Reinforcing of ICF walls shall conform to section 9.15.4.5. of the BCBC (2018) as well as to the specifications of the ICF Bloc manufacturer.

Excavation, Foundation, and Backfilling

The excavation shall extend to a depth free of all organic and/or unsuitable materials.

The excavated area shall be kept free from standing water.

Foundations shall be concrete on solid undisturbed bearing.

Bottom of all exterior footings and pads must be at the specified depth below grade for this region for frost protection.

Foundation walls shall not be back-filled until concrete has reached its specified 28-day strength or until it is adequately braced subject to the approving authority.

Grades shown on plans are estimated. Foundation wall heights may require adjustments to suit site conditions.

All concrete, masonry and ICF foundation walls exceeding height limits specified by the current BC Building Code require Engineering.

Perimeter drainage shall be installed where required by the approving authorities.

Backfill materials shall consist of granular material compacted to 98% Standard Dry Proctor.

All backfilling shall be carried out in a manner that prevents damage to the foundation, damp proofing membrane and/or any drain tile.

Site Grading

The site shall be graded to ensure surface water is directed away from the building.

Riparian, Floodplain, and Drainage Issues

It is the owner's sole responsibility to determine if the building location will conflict with any riparian and/or floodplain regulations. All costs associated with riparian and/or floodplain issues are the sole responsibility of the owner.

Dimensions

Exterior dimensions are from the outside face of exterior wall sheathing to the outside face of adjacent exterior wall sheathing.

Exterior dimensions notating an interior wall are from the outside face of exterior wall sheathing to the stud edge of the interior wall.

Door and window dimensions are from the exterior wall sheathing to the edge of the framing, or from framing edge to framing edge for windows not adjacent to an exterior wall.

Door cut-outs in foundation, 1" per side

Unless otherwise noted, the sheathing face of the exterior stud is assumed to be flush with the concrete foundation.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Foundation Details

PROJECT DESCRIPTION:
John McIntosh
2620 Nicola Ave., Tulumeez B.C.
Legal Description: Parcel A, Block 17, District Lot 128,
Yale Div of Yale Land District, Portion (K330021), TULAMEEN
TOWNSITE
PID: 023-041-535

DRAWINGS PROVIDED BY:
Gecko Flats Design
108-108 BC Canada V0X 1W0
Phone: 250-295-0251
Email: service@geckoflatsdesign.com

DATE:

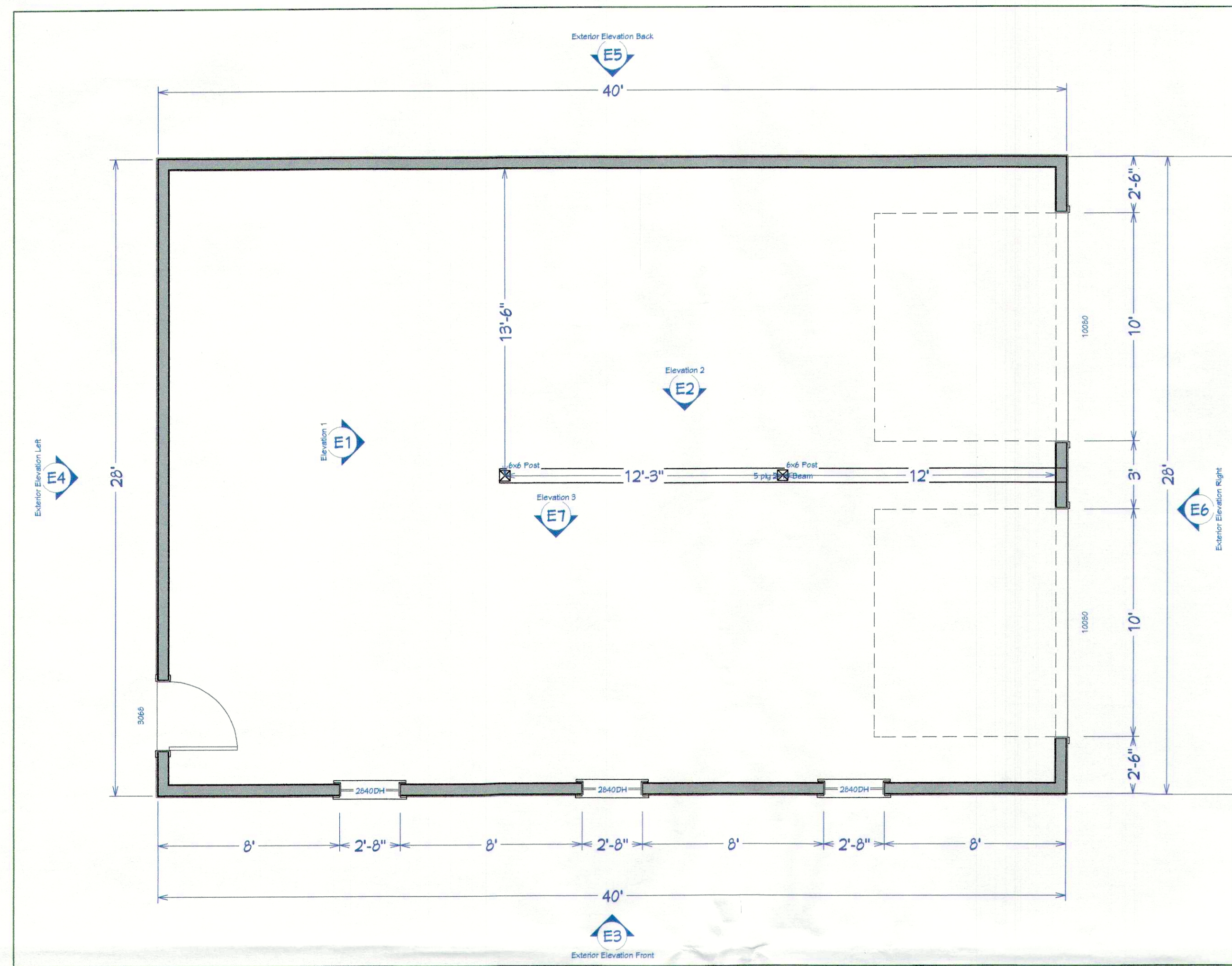
15/Oct/21

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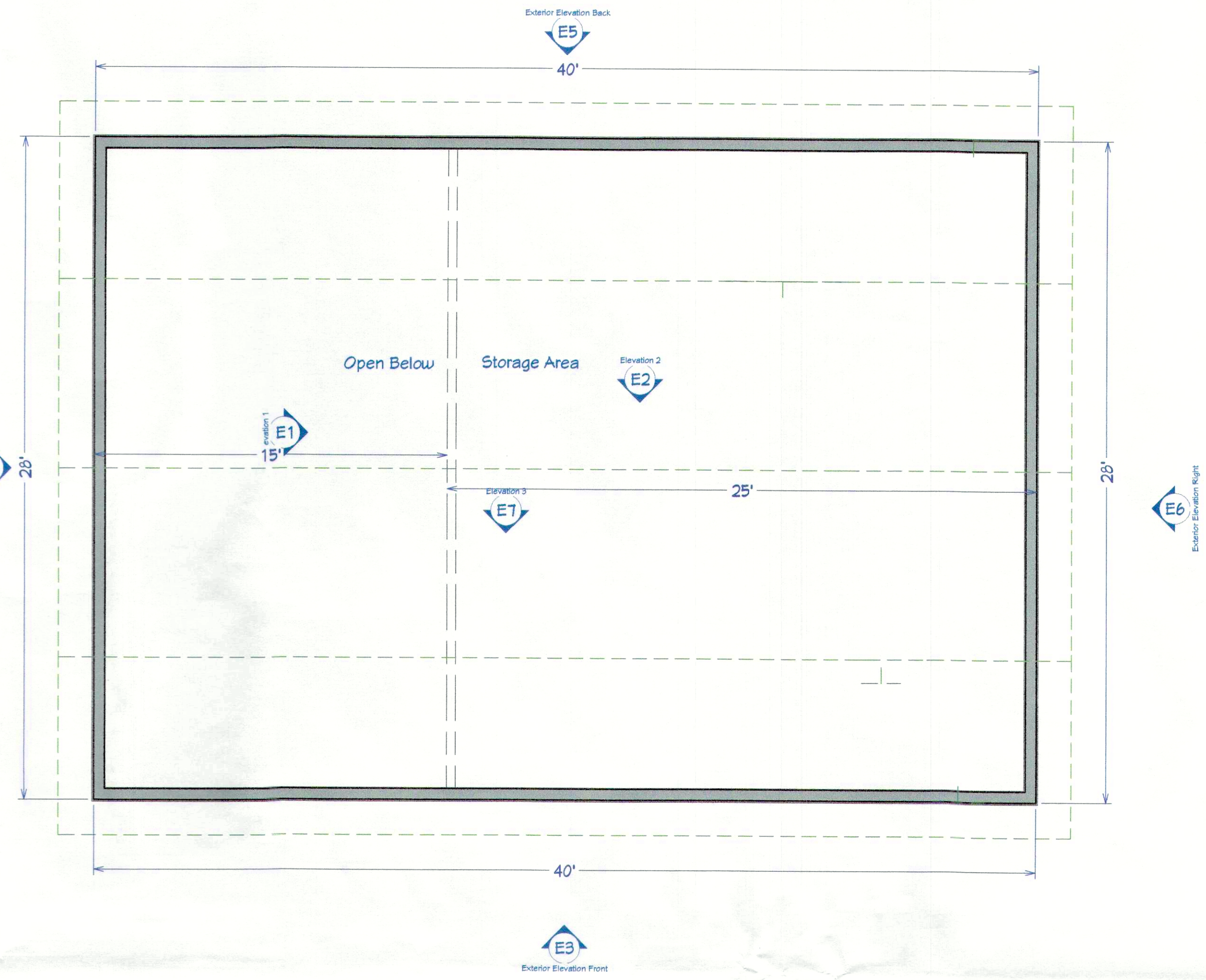
1/4" = 1'

SHEET:

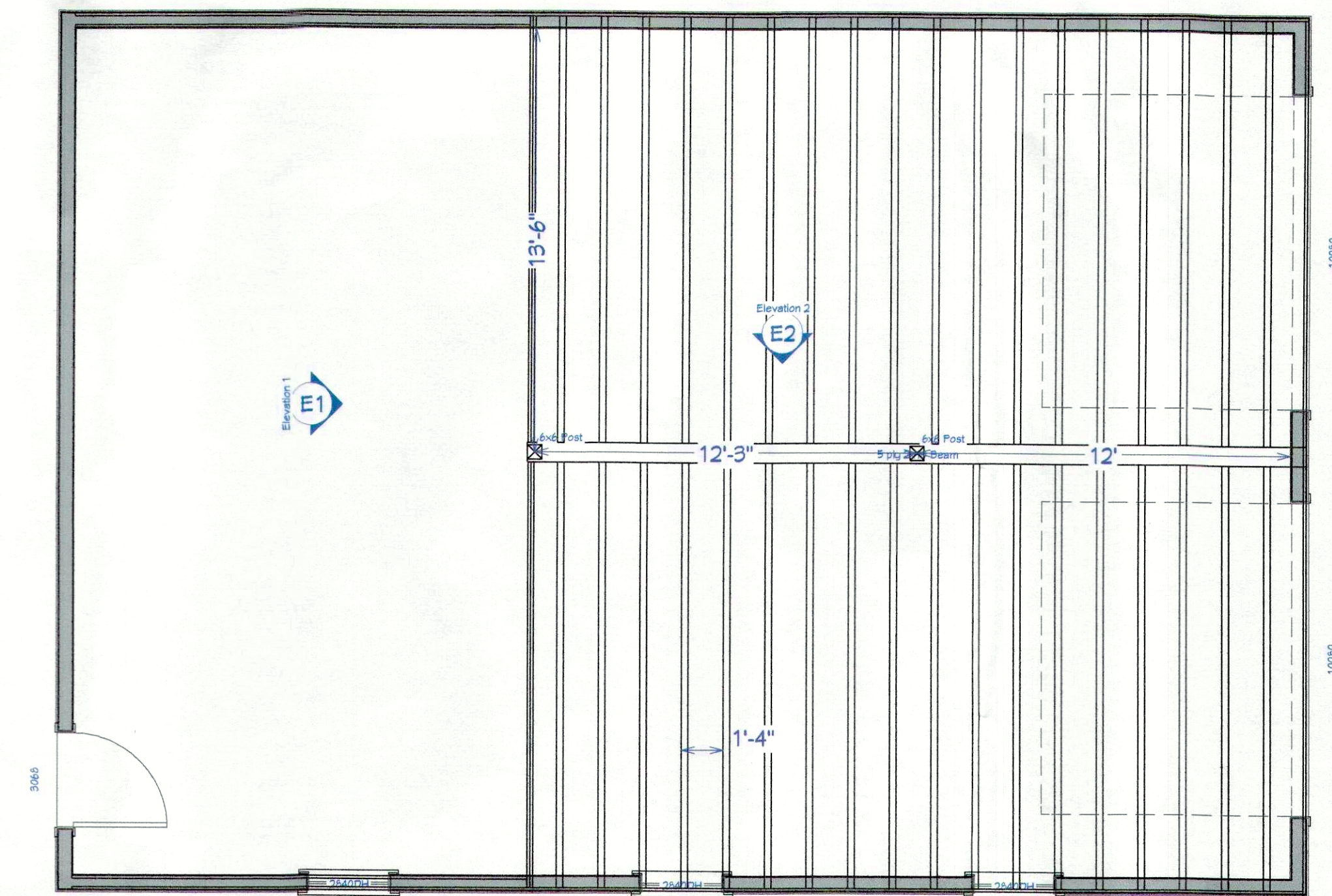
3



1st Floor

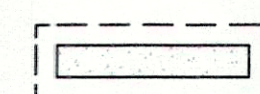



2nd Floor



Attic Storage Area - Floor Joists

Wall Type Legend

-  Existing 8" Stem Wall
-  2x6 Exterior Wall



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Floor Plan

PROJECT DESCRIPTION:
 John McInerath
 2627 Nicolar Ave., Tulameen B.C.
 Legal Description: Parcel A, Block 17, District Lot 128,
 1/4 Sec 19 of Yale Land District, Portion (N330021), TULAMEEN
 TOWNSITE
 PID: 023-041-935

DRAWINGS PROVIDED BY:
 Gekko Flats Design
 PO Box 681
 Princeton, BC Canada V0X 1W0
 Phone: 250-236-0233
 Email: info@gekko flatsdesign.com

DATE:

15/Oct/21

SCALE:

1/4" = 1'

SHEET:

4

Construction Notes

Foundation

- door, side cutouts (as shown in plan dimensions) = 1"

Concrete:

- footing - min. 15 MPa
- foundation - min 15 MPa
- slab - min 32 MPa

Rebar:

- footing - 2 rows #10 (metric continuous (wrap around 24")) at corners
- foundation
 - Horizontal & Vertical rebar placement to meet BCBC (2018) 9.15.4.5
 - horizontal rebar to be placed continuous (wrap around 24") at corners

Anchor Bolts:

- 1/2 in. dia. anchor bolts
- spaced a maximum 1.7 m (5 ft. 6in.) apart
- not more than 500 mm (1 ft. 7in.) from the end of the foundation

Framed Walls

Exterior Walls

- 2x6 (24" o.c.) SPF (#1or2) studs,
- sheathed outside, 7/16" OSB

Headers

- for doors & windows 3'11" feet or less in width
 - 3 ply 2x8 (SPF #1 or 2)
- for windows between 4' feet 6"
 - 4 ply 2x8 (SPF #1 or 2)
- garage doors
 - 5 ply 2x12 (SPF #1 or 2)

Floor Joists

Attic Storage Area

- posts - 6x6 (4 ply 2x6) (SPF # 1 or 2) posts attached to foundation pad /w BCBC approved connector
- beam - 5 ply 2x10 (SPF # 1 or 2) - beam & joist site atop exterior walls - joist attached to beam /w BCBC approved joist hanger
- 2x10 (16" o.c.) (SPF # 1 or 2)
- joists to be bridged every 48"
- 3/4" T&G sub-floor

Heating

- unit is not heated

Doors & Windows

- all doors have a upper height of 80"
- all windows have an upper height of 80"
- all doors & windows are to have appropriate drip shields installed

Roof

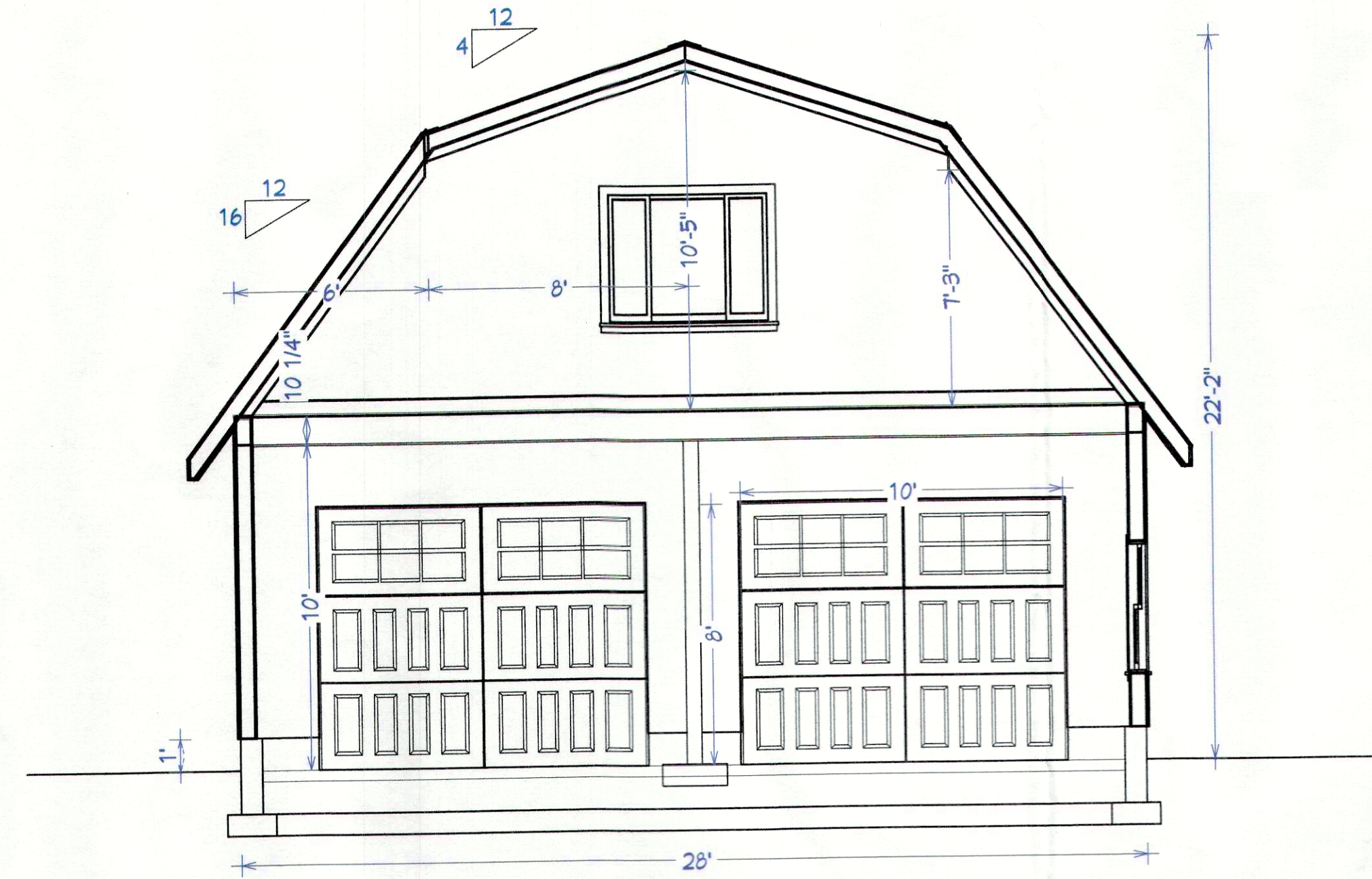
- trusses are are to be supplied by certified by the manufacturer.
- roof deck 7/16" o.s.b.
- roof covering - sheet metal
- ridge vent cap to be installed
- Ceiling framing supplied by joists under storage area

Insulation

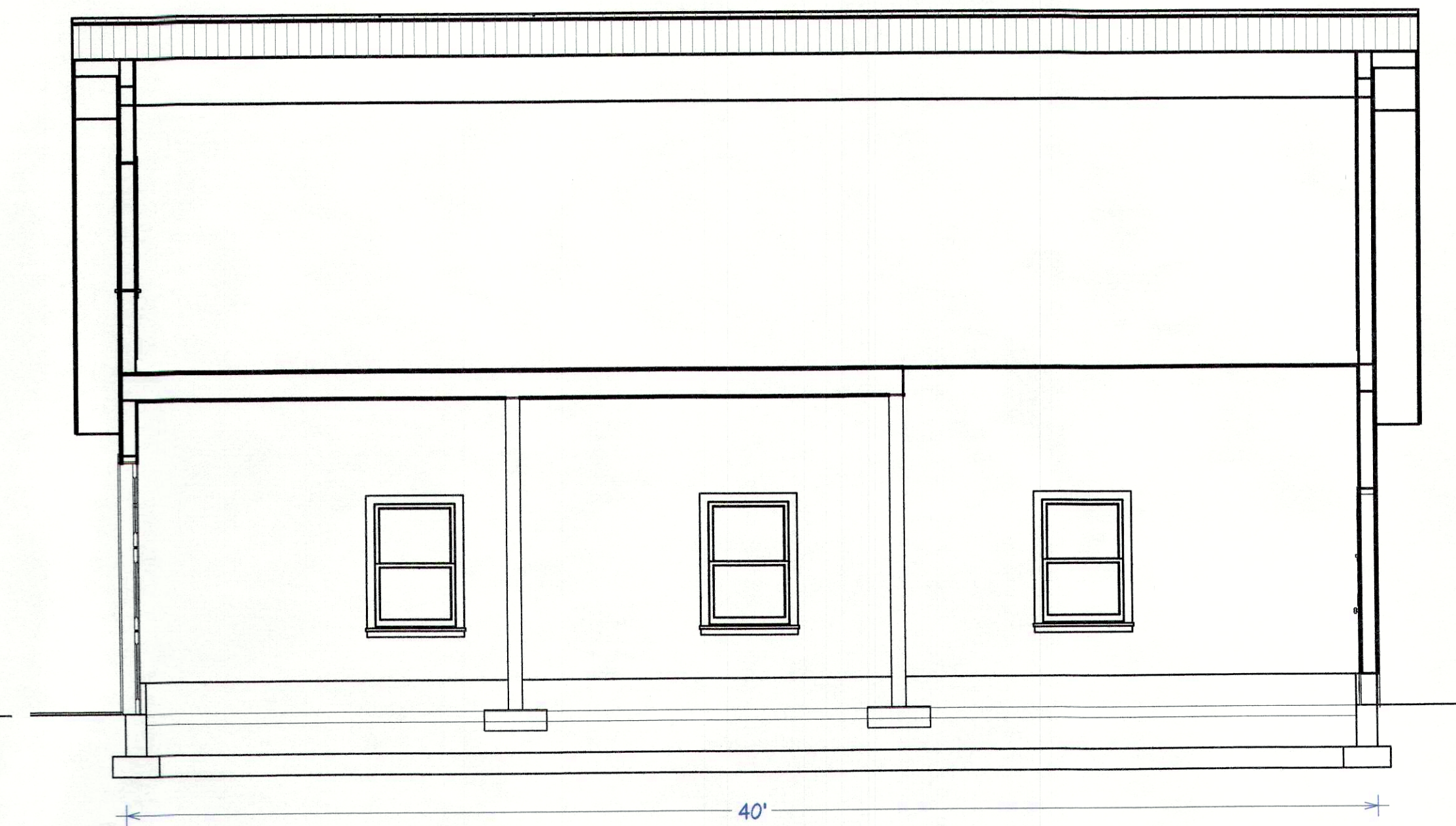
- unit is not insulated

Exterior Finishes

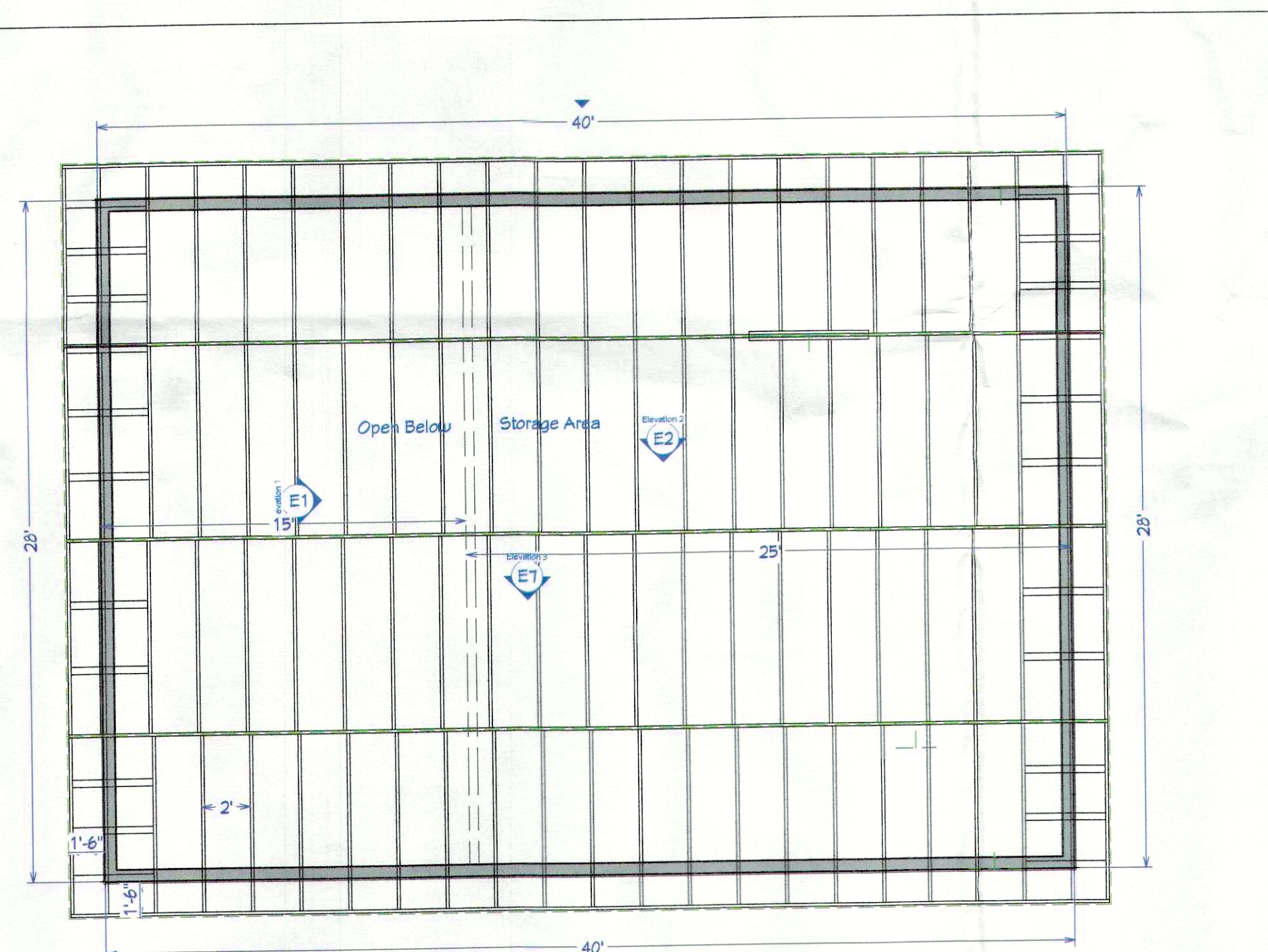
- Fibre Board Siding
- Sheet Metal Roofing



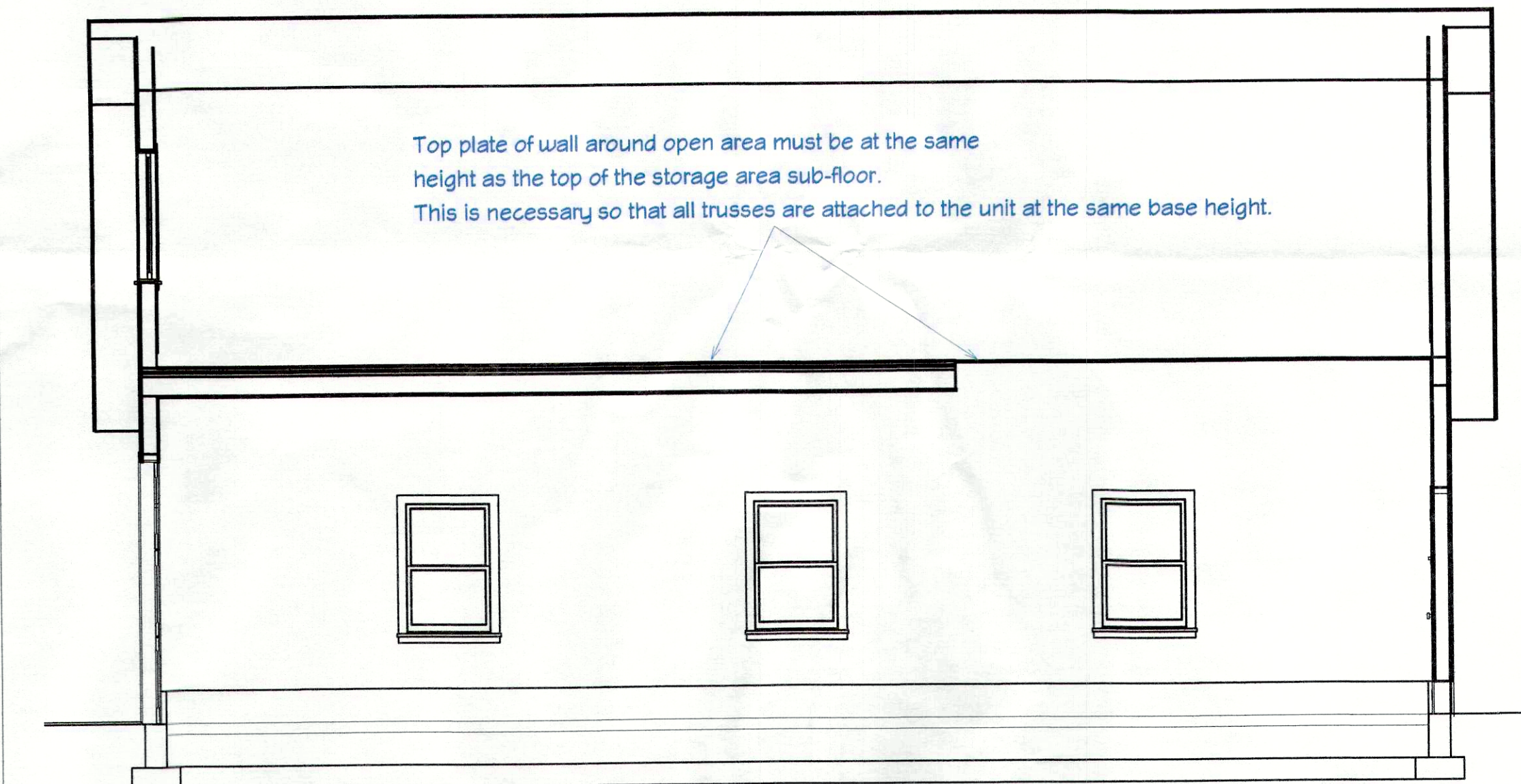
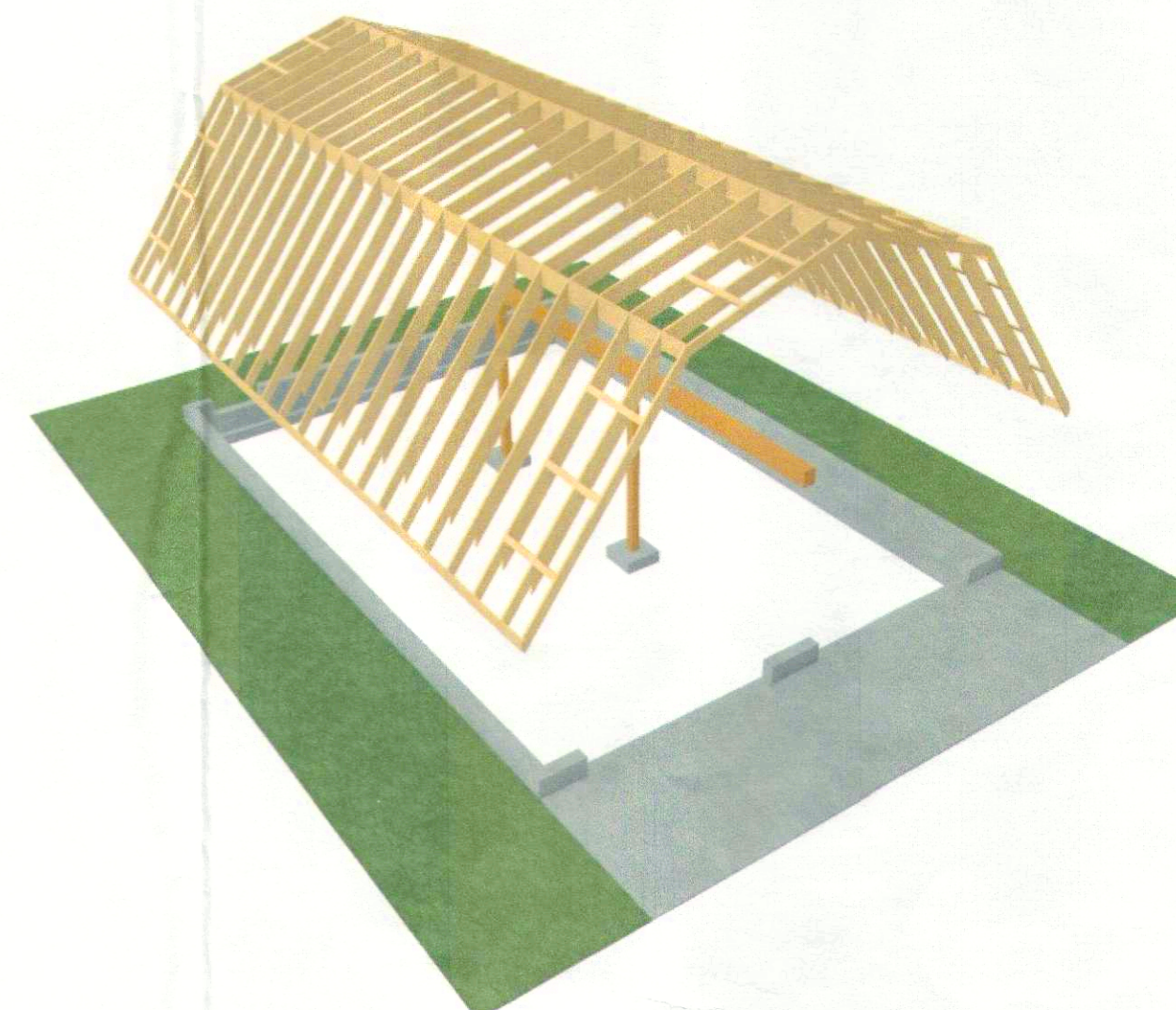
Elevation 1



Elevation 2



Suggested Truss Design



Elevation 3

Manufactured Trusses
 Manufactured trusses are to be designed and built by a qualified supplier.
 Their drawings are to be attached to this plan set and become an integral part of same.



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Cross Sections
Construction Details

PROJECT DESCRIPTION:
 John Mcintosh
 2620 Nicola Ave., Tulameen B.C.
 Legal Description: Parcel A, Block 17, District Lot 128,
 Yale Div of Yale Land District, Portion (0330021), TULAMEEN
 TOWNSITE
 PID: 023-041-5935

DRAWINGS PROVIDED BY:
 Gecko Flats Design
 PO Box 6834 C. Canada V0X 1W0
 Phone: 250-295-9251
 Email: service@geckoflatsdesign.com

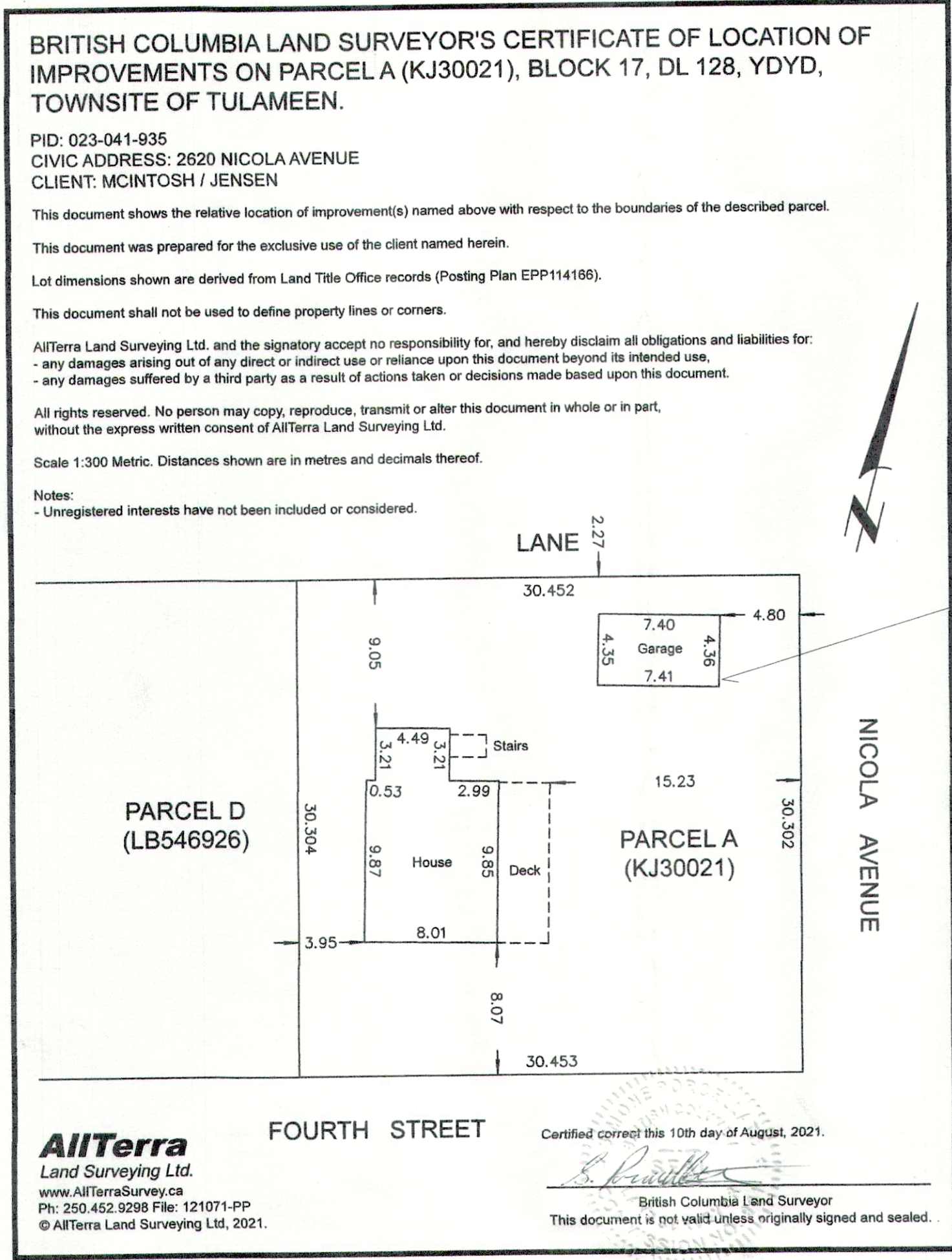
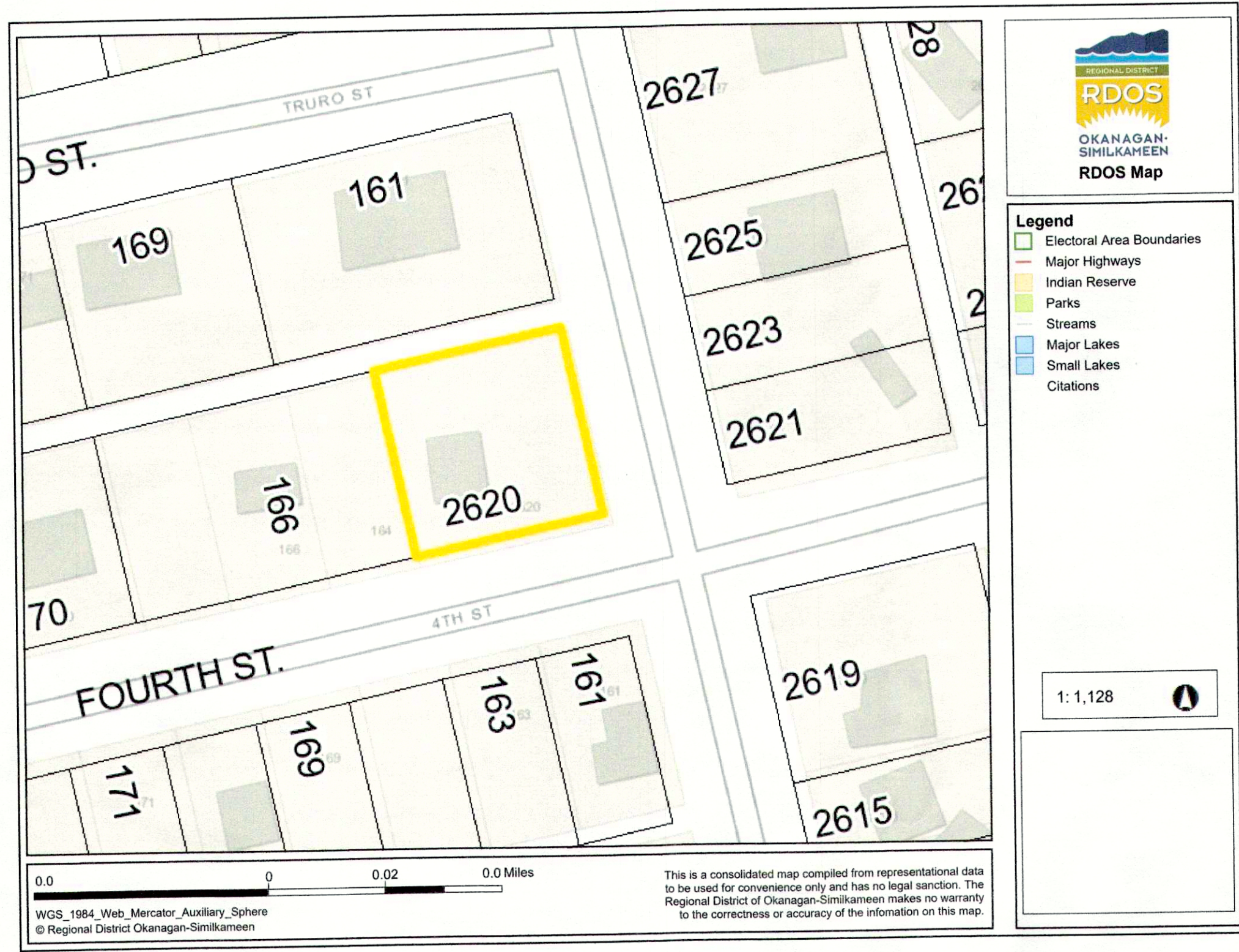
DATE:

15/Oct/21

SCALE:

1/4" = 1'

SHEET:



This existing garage to be demolished before construction of a new garage.

12.0 LOW DENSITY RESIDENTIAL

12.1 RESIDENTIAL SINGLE FAMILY ONE ZONE (RS1)

12.1.1 Permitted Uses:

- Principal Uses:**
- a) single detached dwelling or mobile home;^{xxxx}
- Accessory Uses:**
- b) secondary suites, subject to Section 7.10;
 - c) home occupations, subject to Section 7.16;
 - d) bed and breakfast operations, subject to Section 7.18;
 - e) accessory buildings and structures, subject to Section 7.12.

12.1.2 Minimum Parcel Size:

- a) 500 m², when connected to community water and sewer;
- b) 0.4 ha, when connected to community sewer and serviced by well;
- c) 1.0 ha, when serviced by well and approved septic system.

12.1.3 Minimum Parcel Width:

- a) 16.0 metres

12.1.4 Maximum Number of Dwellings Permitted Per Parcel:^{xxxx}

- a) one (1) principal dwelling; and
- b) one (1) secondary suite.

12.1.5 Minimum Setbacks:

- a) Buildings and structures:
 - i) Front parcel line 7.5 metres
 - ii) Rear parcel line 7.5 metres
 - iii) Interior side parcel line 1.5 metres
 - iv) Exterior side parcel line 4.5 metres
- b) Accessory buildings and structures:

- i) Front parcel line 7.5 metres
- ii) Rear parcel line 1.0 metres
- iii) Interior side parcel line 1.0 metres
- iv) Exterior side parcel line 4.5 metres

12.1.6 Maximum Height:

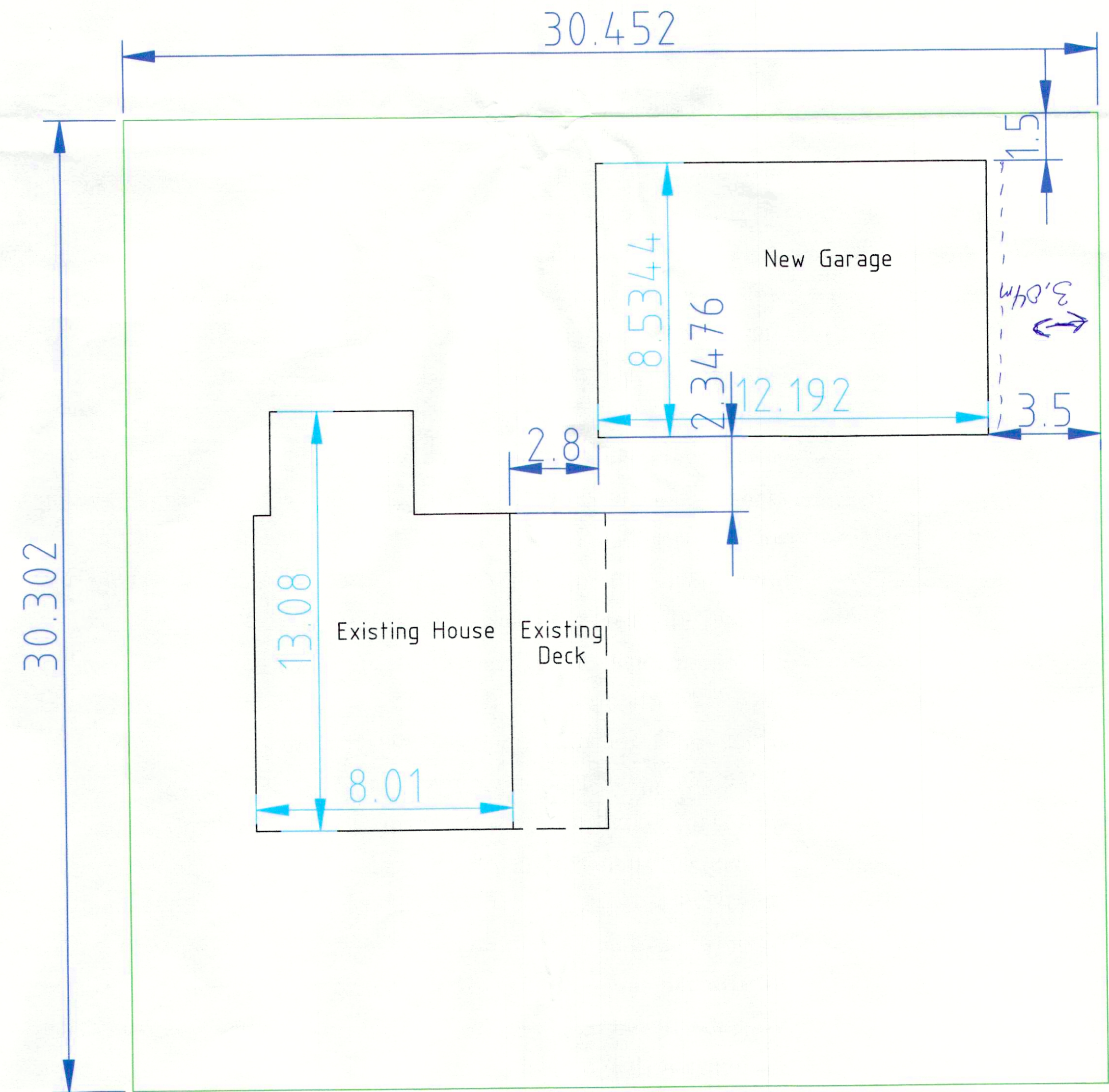
- a) No building or structure shall exceed a height of 10.0 metres;
- b) No accessory building or structure shall exceed a height of 4.5 metres.

12.1.7 Maximum Parcel Coverage:

- a) 35%

12.1.8 Site Specific Residential Single Family One (RS1s) Provisions:

- a) Not applicable



^{xxxx} Amendment Bylaw No. 2743, 2016 – adopted September 15, 2016
^{xxxx} Amendment Bylaw No. 2498.04, 2014 – adopted August 21, 2014



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
 Site Plan

PROJECT DESCRIPTION:
 John McIntosh
 2620 Nicola Ave., Tulameen B.C.
 Legal Description: Parcel A, Block 17, District Lot 128,
 Yale Div of Yale Land District, Portion (KJ30021), TULAMEEN
 TOWNSITE
 PID: 023-041-935

DRAWINGS PROVIDED BY:
 Gacko Flats Design
 PO Box 68
 BC Canada V0X 1V0
 Phone: 250-295-0251
 Email: service@gackoflatsdesign.com

DATE:

16/Oct/21

SCALE:

1/4" = 1'

SHEET:

6