

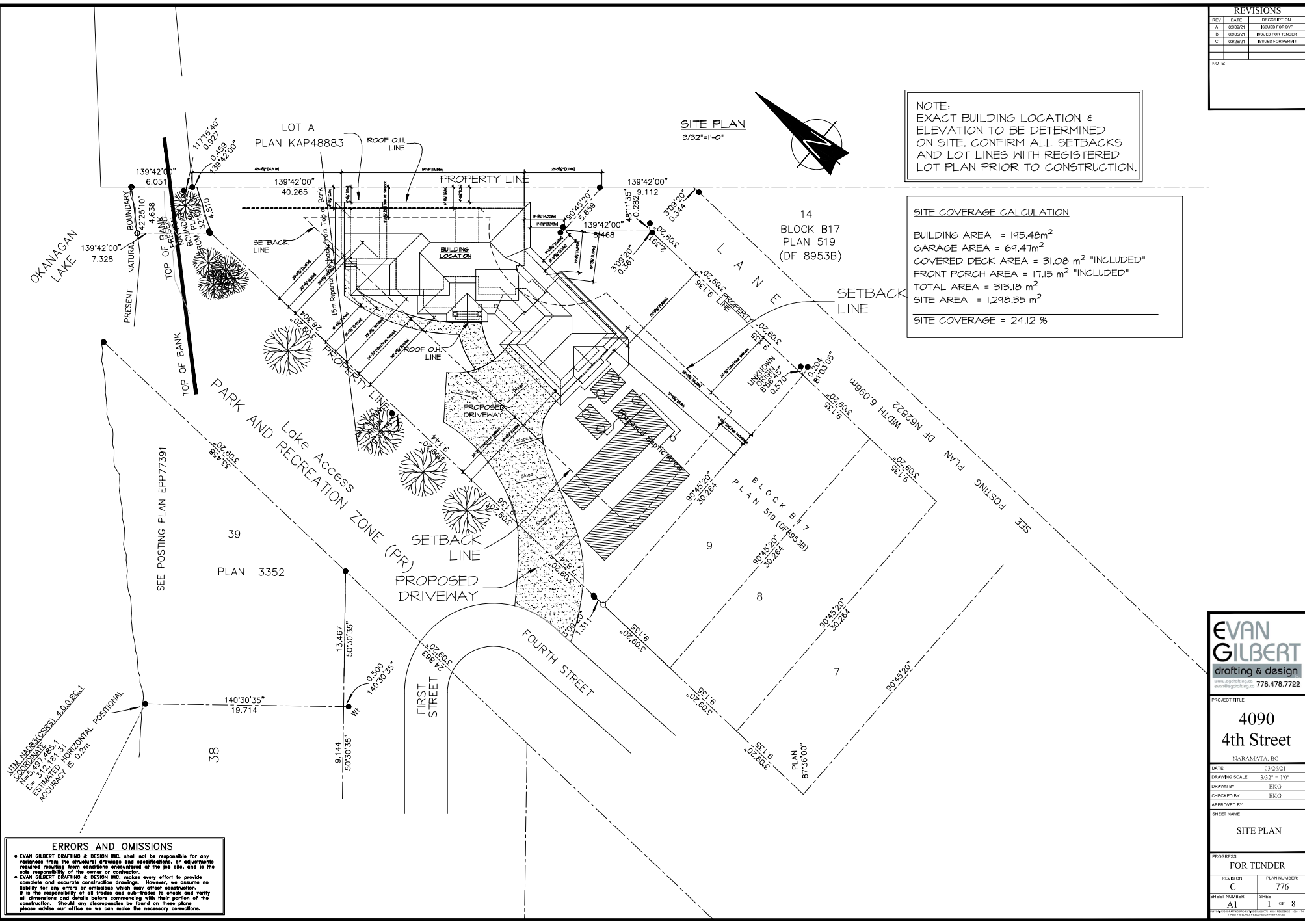
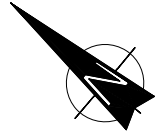
REVISIONS	
REV	DESCRIPTION
A	02/20/21 ISSUED FOR CIP
B	03/26/21 REVISED FOR TENDER
C	03/26/21 ISSUED FOR PERMIT
NOTE	

NOTE:
EXACT BUILDING LOCATION &
ELEVATION TO BE DETERMINED
ON SITE. CONFIRM ALL SETBACKS
AND LOT LINES WITH REGISTERED
LOT PLAN PRIOR TO CONSTRUCTION.

SITE COVERAGE CALCULATION

BUILDING AREA = 195.48m²
 GARAGE AREA = 69.47m²
 COVERED DECK AREA = 31.08 m² "INCLUDED"
 FRONT PORCH AREA = 17.15 m² "INCLUDED"
 TOTAL AREA = 313.18 m²
 SITE AREA = 1,298.35 m²
 SITE COVERAGE = 24.12 %

SITE PLAN
3/32"=1'-0"



LTM LANCE (C65D) 4.00 BE-1
 COORDINATE
 4912.745, 1
 UNLIMITED HORIZONTAL POSITIONAL
 ACCURACY IS 0.2m

ERRORS AND OMISSIONS

- EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

EVAN GILBERT
 drafting & design
 evan@gilbertdrafting.ca 778.478.7722

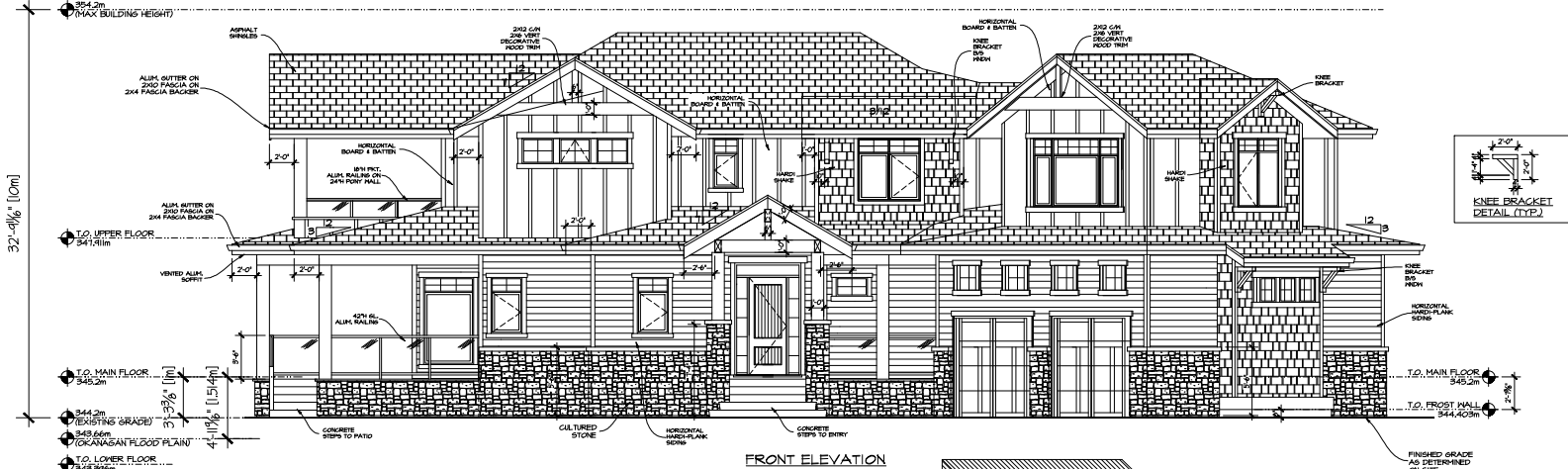
PROJECT TITLE
4090 4th Street
 NARAMATA, BC

DATE: 03/26/21
 DRAWING SCALE: 3/32" = 1'-0"
 DRAWN BY: EKG
 CHECKED BY: EKG
 APPROVED BY:
 SHEET NAME
SITE PLAN

PROGRESS
FOR TENDER

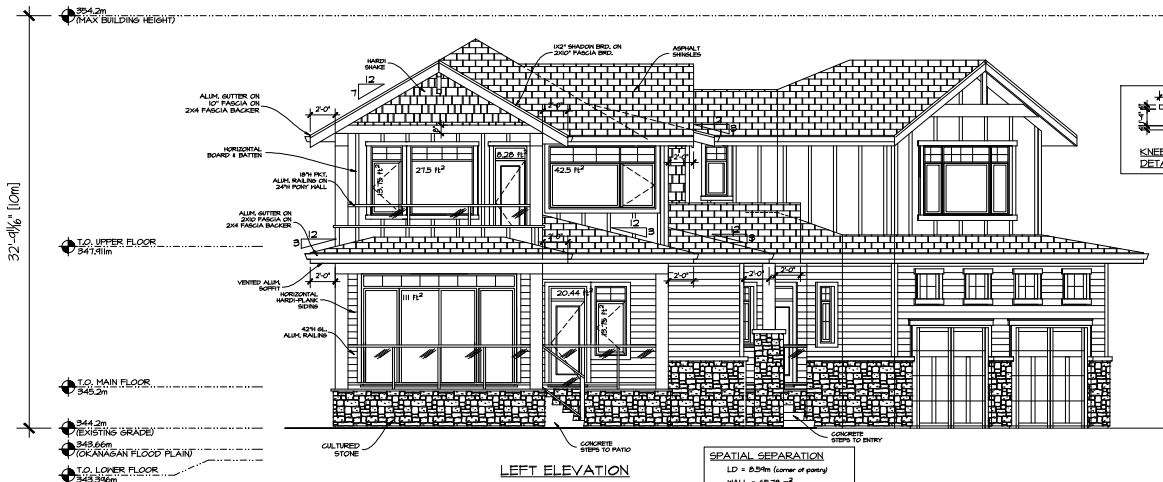
REVISION	PLAN NUMBER
C	776
SHEET NUMBER	SHEET
A1	1 OF 8

REVISIONS		
REV	DATE	DESCRIPTION
A	02/26/21	ISSUED FOR COF
B	03/25/21	REVISED FOR TENDER
C	03/26/21	ISSUED FOR PERMIT
NOTE		



FRONT ELEVATION

SOFFITS PROJECTING INTO 1.2m SETBACK TO BE UNVENTED AND PROTECTED. SEE BC, B.C.A.-4.10.15.5 IN APPENDIX A



LEFT ELEVATION

SPATIAL SEPARATION
 LD = 0.59m (lower of entry)
 MALL = 65.70 m²
 GLASS = 22.87 m²
 22.87/65.70 = 34.82% glass
 ALLOWABLE = 64.26%

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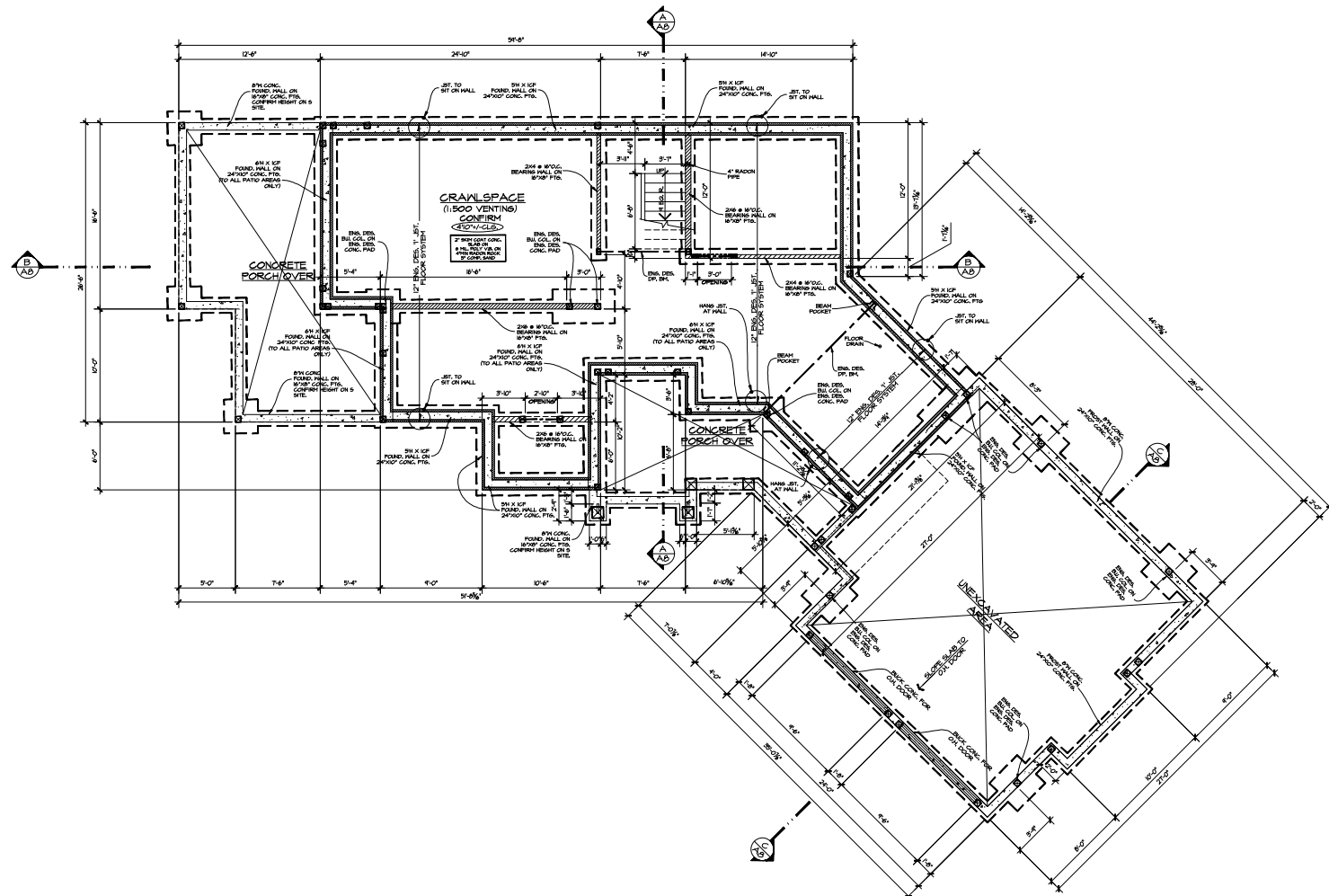
PROJECT TITLE
4090 4th Street
 NARAMATA, BC

DATE: 03/26/21
 DRAWING SCALE: 1/4" = 1'-0"
 DRAWN BY: EKG
 CHECKED BY: EKG
 APPROVED BY:
 SHEET NAME
FRONT & LEFT ELEVATION

PROGRESS
FOR TENDER

REVISION	PLAN NUMBER
C	776
SHEET NUMBER	SHEET
A2	2 OF 8

REVISIONS		
REV	DATE	DESCRIPTION
A	02/26/21	ISSUED FOR COF
B	02/26/21	REVISED FOR TENDER
C	02/26/21	ISSUED FOR PERMIT
NOTE		



H.R.V. INSTALLED

FOUNDATION PLAN

SEE STRUCTURAL ENGINEER DRAWINGS FOR FOOTING & FOUNDATION DETAILS.

* -CONDUIT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS. CONTRACTOR TO CONFIRM. -SIC BUILDING CODE PROVISIONS FOR THE ROUGH-IN FOR A SUB-FLOOR DEPRESSURIZATION SYSTEM NOW REQUIRE. -INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH AND TERMINATES OUTSIDE THE BUILDING.

NOTE: -STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, STAYS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

NOTE: -FOUNDATION HEIGHTS MAY VARY AS PER SITE GRADE. -ALL FOOTINGS TO BE BELOW FROST LINE. -STEP FOOTINGS 2' MAX. VERT. & 2' MAX. HORIZ.

NOTE: -CONFIRM ALL WALL THICKNESS, ECT. WITH STRUCTURAL DRAWINGS BEFORE PROCEEDING WITH FORMING.

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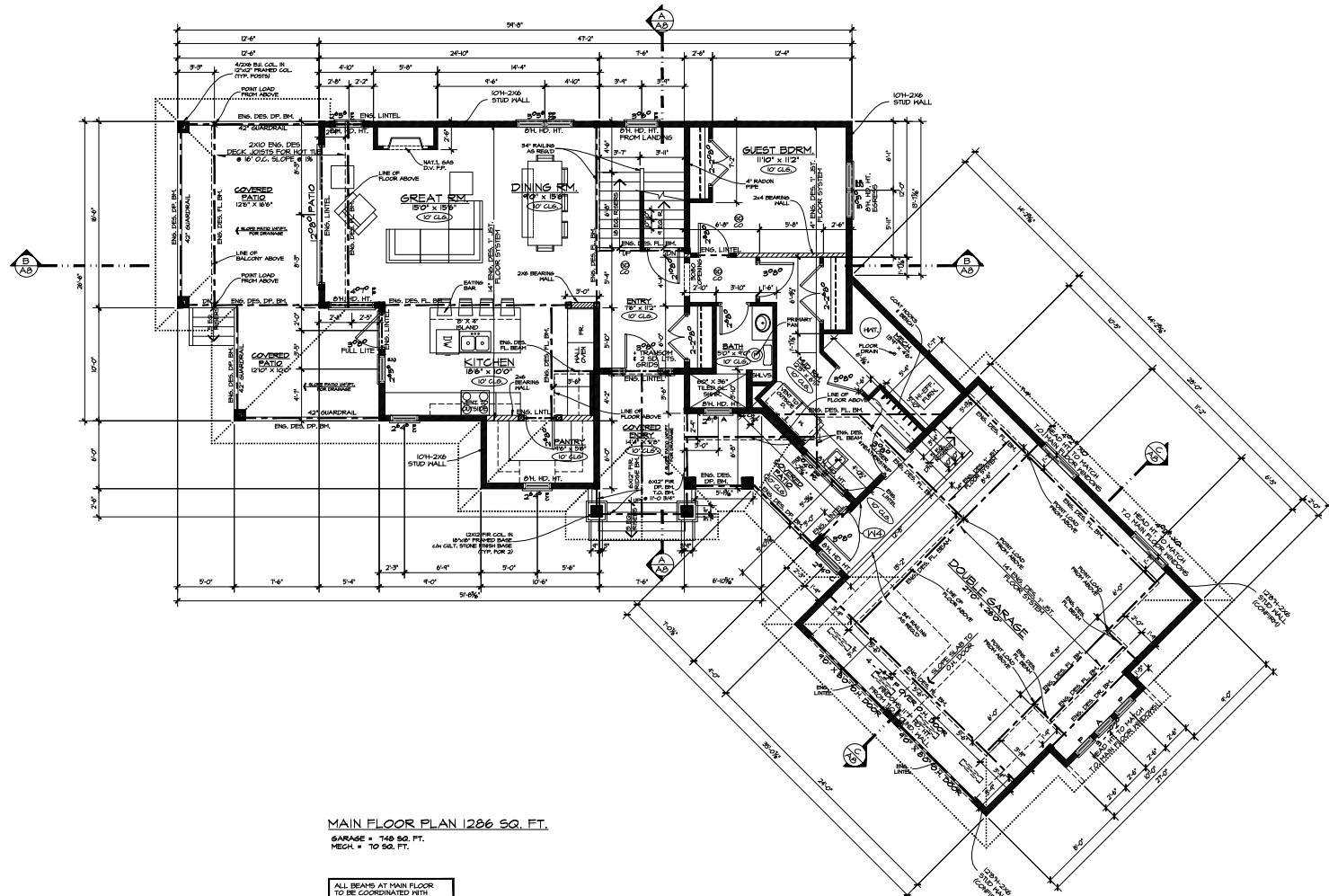
PROJECT TITLE
4090 4th Street
NARAMATA, BC

DATE: 03/26/21
DRAWING SCALE: 1/4" = 1'-0"
DRAWN BY: EKG
CHECKED BY: EKG
APPROVED BY:
SHEET NAME: **FOUNDATION PLAN**

PROGRESS
FOR TENDER

REVISION	PLAN NUMBER
C	776
SHEET NUMBER	SHEET
A4	4 OF 8

REVISIONS		
REV	DATE	DESCRIPTION
A	03/26/21	ISSUED FOR OVP
B	03/26/21	ISSUED FOR TENDER
C	03/26/21	ISSUED FOR PERMIT
NOTE		



MAIN FLOOR PLAN 1286 SQ. FT.
 GARAGE = 748 SQ. FT.
 MECH. = 58 SQ. FT.

ALL BEAMS AT MAIN FLOOR TO BE COORDINATED WITH MECHANICAL & PLUMBING MANUFACTURER.

H.R.V. INSTALLED

NOTE:
 -FRAMER TO CONFIRM ALL PLUMBING FIXTURES & FINISHES B.O.S. PRIOR TO STARTING CONSTRUCTION.
 -FRAMER TO PROVIDE PROPER BRACKING FOR LOPEL BARS, GRAB BARS, CURTAIN RODS, CLOSET RODS, PAPER HOLDERS, AND SIMILAR FIXTURES AS NOTED.
 -ELECTRICAL CONTRACTOR LAYOUT ALL FIXTURES ON SITE PRIOR TO FRAMING.
 -TRUSS LAYOUT AS PER ENG. DES. TRUSS DRAWINGS.

-CONDUT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODES. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS. -BC BUILDING CODE PROVISIONS FOR THE ROUGH-IN FOR A SUB-FLOOR DEPRESSURIZATION SYSTEM NOW REQUIRE INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH AND TERMINATES OUTSIDE THE BUILDING.

NOTE:
 -ALL WINDOW HEAD HEIGHTS TO BE 8'0" UNLESS NOTED.
 -ALL DOORS TO BE 8'0" HIGH UNLESS NOTED.

NOTE:
 -STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

ERRORS AND OMISSIONS

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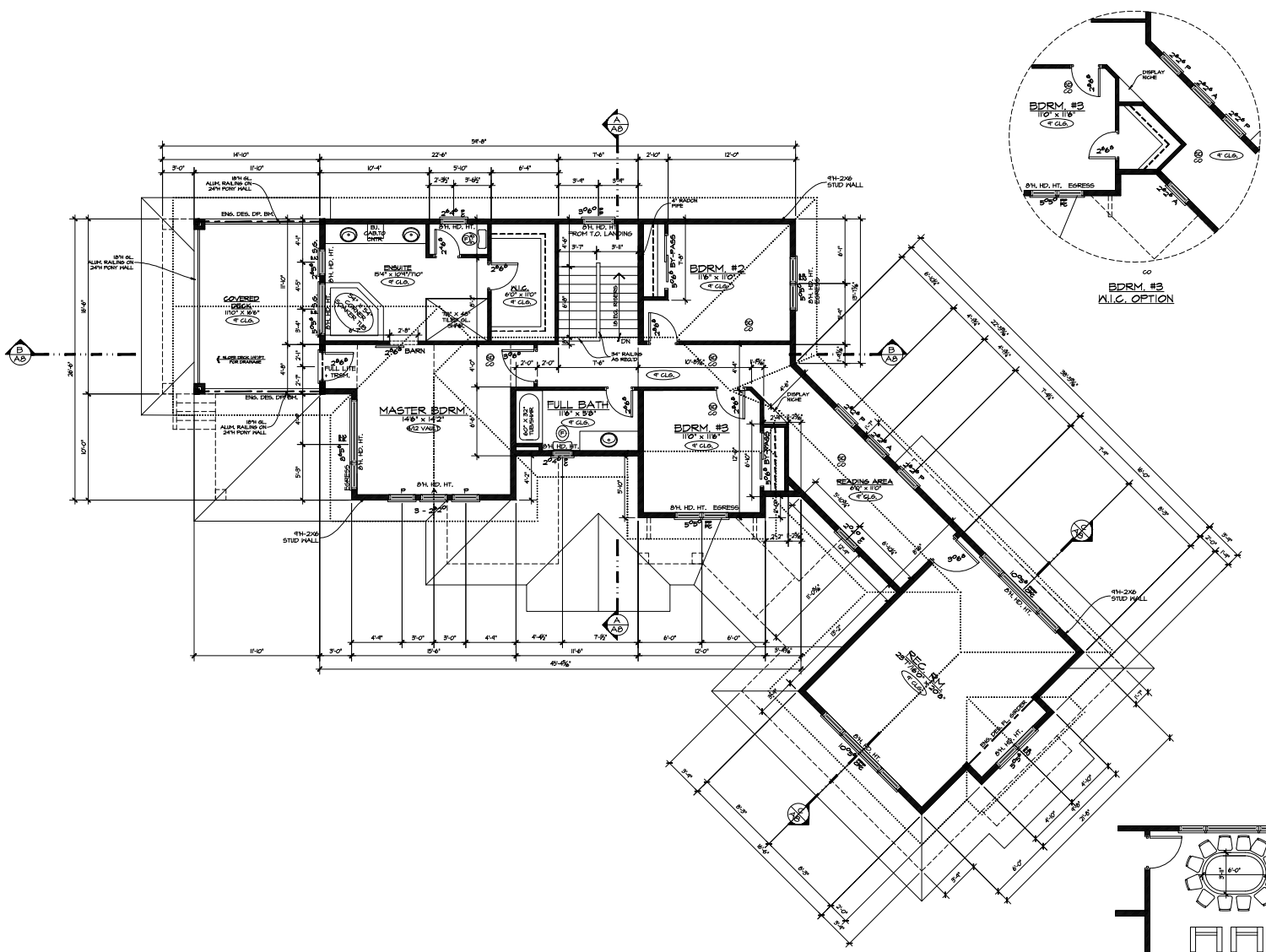
EVAN GILBERT
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 www.evandrafting.ca 778.478.7722

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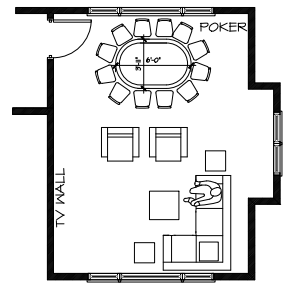
DATE: 03/26/21
 DRAWING SCALE: 1/4" = 1'-0"
 DRAWN BY: EKG
 CHECKED BY: EKG
 APPROVED BY:
 SHEET NAME

MAIN FLOOR PLAN	
PROGRESS	FOR TENDER
REVISION	PLAN NUMBER
C	776
SHEET NUMBER	SHEET
A5	5 OF 8

REVISIONS		
REV	DATE	DESCRIPTION
A	02/26/21	ISSUED FOR COF
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NOTE		



UPPER FLOOR PLAN 1574 SQ. FT.



REC. RM. FURNITURE LAYOUT

H.R.V. INSTALLED

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NOTE:
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-FRAMER TO PROVIDE PROPER BACKING FOR TOILET BARS, GRAB BARS, CURTAIN RODS, CLOSET RODS, PAPER HOLDERS, AND SIMILAR FIXTURES AS REQUIRED.
-ELECTRICAL CONTRACTOR LAYOUT WITH GUTTERS ON SITE PRIOR TO PERMITS.
-TRUSS LAYOUT AS PER ENG. DES. TRUSS DRAWINGS.

-CONDUIT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS.
-CONTRACTOR TO CONFIRM IBC BUILDING CODE PROVISIONS FOR THE ROOMS FOR A SUB-FLOOR DEPRESSURIZATION SYSTEM NOW REQUIRED.
-INSTALLATION OF A RADON VENT PIPE WITH GUTTER ON SITE PRIOR TO PERMITS.
-TRUSS LAYOUT AS PER ENG. DES. TRUSS DRAWINGS.

NOTE:
-ALL WINDOW HEAD HEIGHTS TO BE BOTH UNLESS NOTED.
-ALL DOORS TO BE 6'8" HIGH UNLESS NOTED.

NOTE:
-STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

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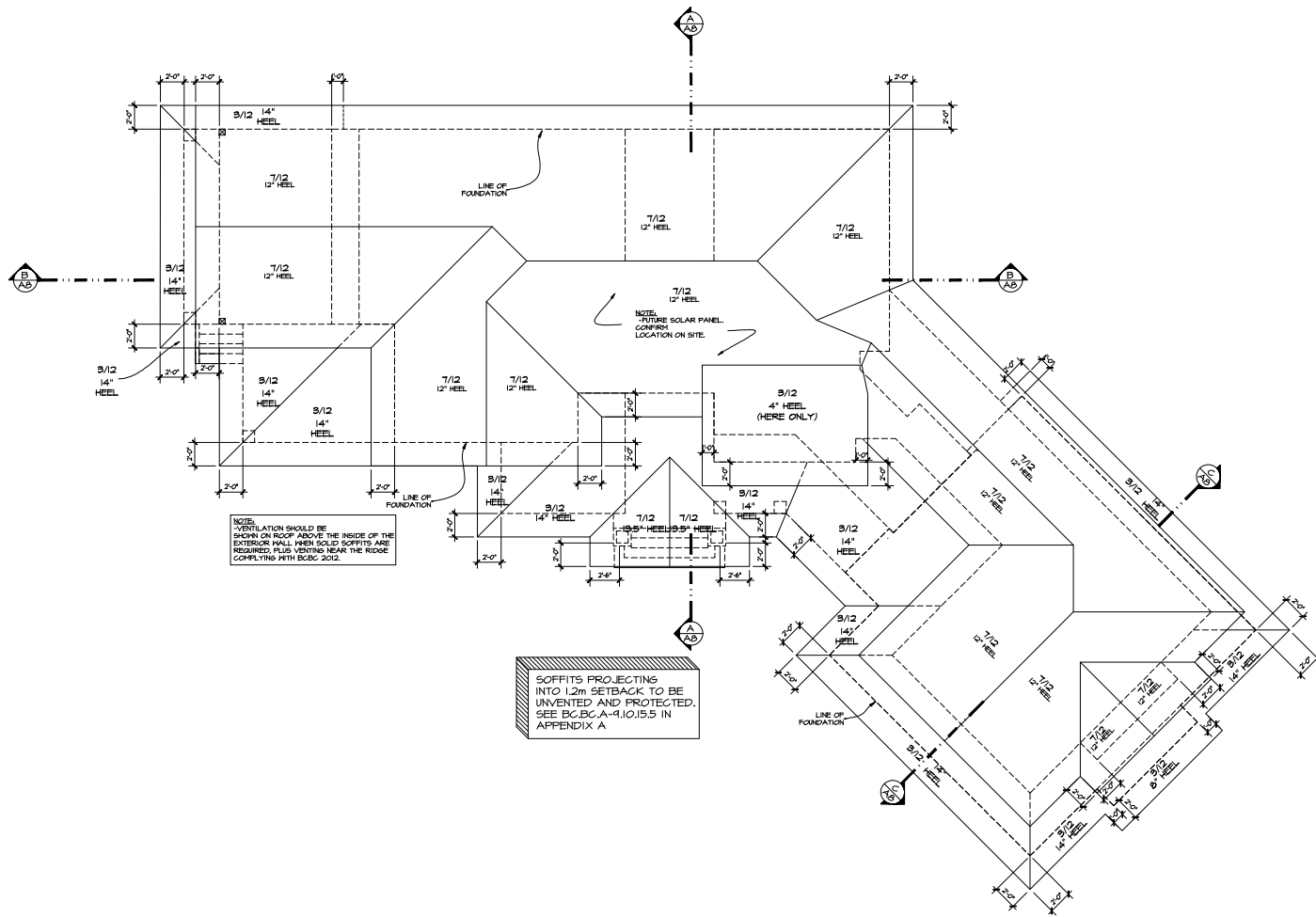
DATE: 03/26/21
DRAWING SCALE: 1/4" = 1'-0"
DRAWN BY: EKG
CHECKED BY: EKG
APPROVED BY:
SHEET NAME

UPPER FLOOR PLAN

PROGRESS
FOR TENDER

REVISION	PLAN NUMBER
C	776
SHEET NUMBER	SHEET
A6	6 OF 8

REVISIONS		
REV	DATE	DESCRIPTION
A	02/26/21	ISSUED FOR COF
B	02/26/21	REVISED FOR TENDER
C	02/26/21	REVISED FOR PERMIT
NOTE		



NOTE: VENTILATION SHOULD BE SHOWN ON ROOF ABOVE THE INSIDE OF THE EXTERIOR WALL WHEN SOLID SOFFITS ARE REQUIRED, PLUS VENTING NEAR THE RIDGE COMPLYING WITH BCBC 2012.

NOTE: FUTURE SOLAR PANEL. CONFIRM LOCATION ON SITE.

SOFFITS PROJECTING INTO 1.2m SETBACK TO BE UNVENTED AND PROTECTED. SEE BCBC A-4.10.15.5 IN APPENDIX A

ROOF PLAN

NOTE: ALL EAVE HEIGHTS TO BE 14" AT MAIN FLOOR & 12" AT UPPER FLOOR UNLESS NOTED. ALL ROOF OVERHANGS TO BE 24" UNLESS NOTED.

* CONDUIT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS. CONTRACTOR TO CONFIRM. 2" BUILDING CODE PROVISIONS FOR THE ROUGH-IN FOR A SUB-FLOOR PRESSURIZATION SYSTEM NOW REQUIRE. INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH AND TERMINATES OUTSIDE THE BUILDING.

NOTE: STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

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 NARAMATA, BC

DATE: 03/26/21
 DRAWING SCALE: 1/4" = 1'-0"
 DRAWN BY: EKG
 CHECKED BY: EKG
 APPROVED BY:
 SHEET NAME
ROOF PLAN

FOR TENDER

REVISION	PLAN NUMBER
C	776
SHEET NUMBER	SHEET
A7	7 OF 8

